

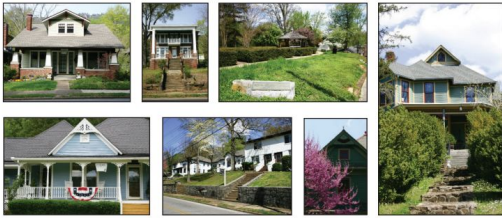
Historic Zoning Commission

August 15, 2024



St. Elmo

Historic District Guidelines



Fort Wood

Historic District Guidelines



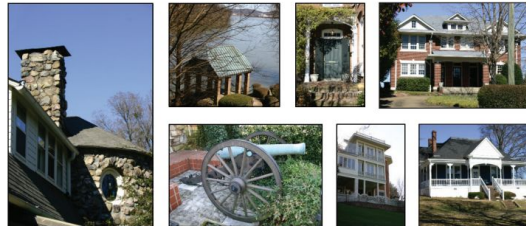
Ferber Place

Historic District Guidelines



Battery Place

Historic District Guidelines



Rules of Procedure

The order of business for hearing will be as follows:

1. **Staff Presentation**
 - a. Application description of proposed project
 - b. Note if the site/structure is historic and/or listed as contributing to the character of the district.
 - c. Location of proposed project
 - d. Explanation of proposed project
 - e. Project photographs and plans
2. **Applicant Presentation** (10 minutes maximum)
3. **Comments by Other Persons** (limited to 5 minutes)
 - a. Opponents, proponents, and other
4. **Applicant Response** (5 minute maximum)
5. **Historic Zoning Commission Discussion**
6. **Motion and Vote**

A Certificate of Appropriateness will be issued within a week of the hearing.

If you defer your case OR if you have conditional items to bring back before the Commission, you **MUST** contact staff and ask to be added to the agenda for that meeting. You will NOT automatically be added to the agenda.

Please note that this meeting is being recorded.

Additional Rules of Procedure

- **Swearing In & Sign In:** If you plan to speak you must be sworn in and sign in at the podium.
- **Laser Pointer:** Use the laser pointer to indicate what areas you are modifying when presenting.
- **Applicant Deferring Case:** If you would like to defer your case to be heard at a later date, a deferral must be requested by the applicant prior to the statement of the case's motion.
 - The application must be updated (in its entirety) by the applicant and submitted one week after the meeting date.
- **Exiting During the Meeting:** If you leave the meeting, please wait until exiting to wooden doors to speak.
- **COA Information:**
 - All construction work must meet the Certificate of Appropriateness (COA) and Design Guidelines as approved by the Chattanooga Historic Zoning Commission or CHZC Staff. If plans change, a new application will be required. If work is not started within 6 months of issue date, a new COA will need to be issued.
 - A COA is NOT a building permit or a land disturbing permit. Please contact the Land Disturbing Office or the Building Permit Office prior to starting the project.
 - The COA must be posted in a visible location or on file on the property until the project is completed.

Agenda

1. Roll Call
2. Swearing In
3. Rules of Procedure. Order of Business
4. Approve Minutes of Prior Meetings
6. Old Business:

I. HZ-24-50: 117 Morningside Dr.: Skylight Revision

7. New Business:

- a. Listing of Staff Reviews
- b. Commission Cases to review

- I. HZ-24-27: 1709 W. 43rd St.: Exterior Rehabilitation (Stop Work Order)
- II. HZ-24-70: 5002 Florida Ave.: Demolish Carport + New Garage and Parking
- III. HZ-24-72: 4302 Seneca Ave.: Front Porch + Rear Addition
- IV. HZ-24-73: 4905 Florida Ave.: Parking
- V. HZ-24-74: 4910 Beulah Ave: Addition

8. Other Business: Historic District Guidelines Update with Consultant
9. Announcements: Next meeting date: September 19, 2024 (application deadline – August 16, 2024 by 4 p.m.)
10. Adjourn

Staff Reviews

- I. HZ-24-42: 5005 Virginia Ave.: Exterior Rehabilitation
- II. HZ-24-69: 4301 St. Elmo Ave.: Fence
- III. HZ-24-75: 315 Old Mountain Rd.: Demolition of Non-Historic Outbuilding
- IV. HZ-24-76: 5522 Alabama Ave.: Fence
- V. HZ-24-77: 4409 Alabama Ave.: Fence



Old Business

Case # HZ-24-50

117 Morningside Dr.

Neighborhood: Ferger Place

Historic Structure: Yes, ca. 1910

Description of proposed project: Skylights - Revision/Stop Work Order, Applicant installed different size skylight than what was previously approved



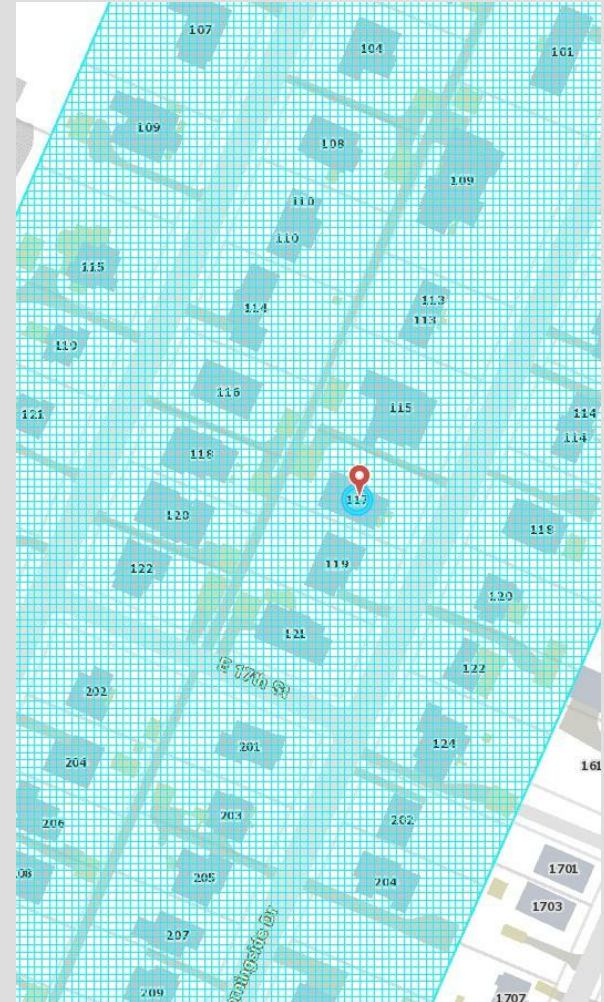
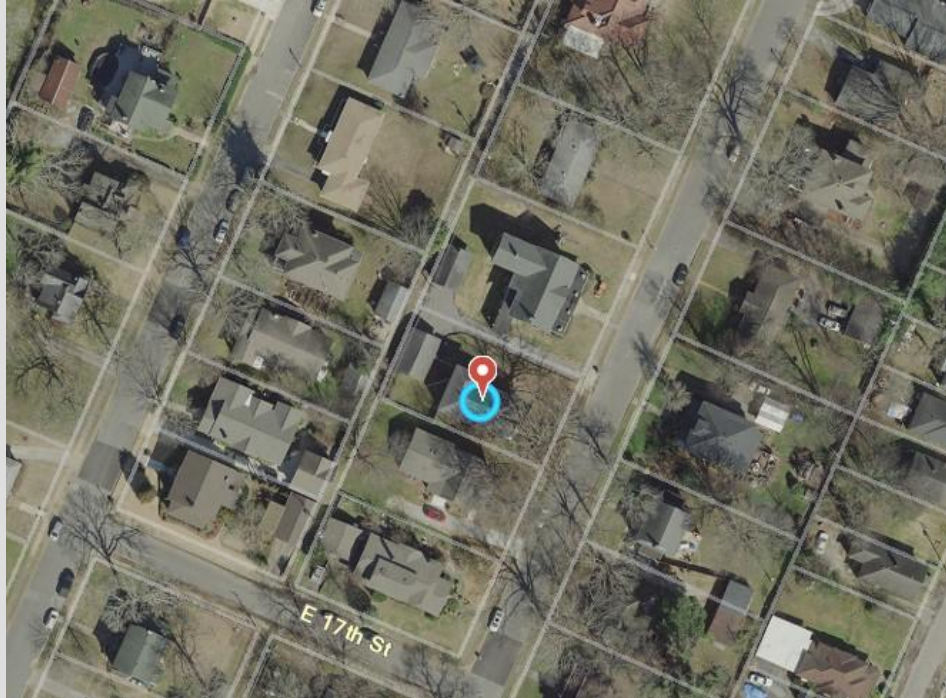
Historic Zoning History:

HZ-20-5: Rebuild porch with historic brick, repoint mortar, repair porch flooring, repair soffits, add gutters.

Map Location

Case # HZ-24-50

117 Morningside Dr.



Property Photos

Case # HZ-24-50
117 Morningside Dr.



Property Photos

Case # HZ-24-50
117 Morningside Dr.



Neighboring Property Photos

Case # HZ-24-50
117 Morningside Dr.



Neighboring Property Photos

Case # HZ-24-50
117 Morningside Dr.

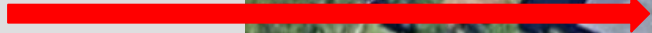


Application Information

Case # HZ-24-50

117 Morningside Dr.

Skylights



Application Information

Case # HZ-24-50

117 Morningside Dr.



Application Information

Case # HZ-24-50

117 Morningside Dr.



Application Information


Case # HZ-24-50

117 Morningside Dr.

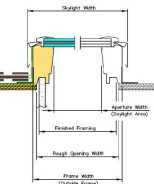


Application Information

Case # HZ-24-50
117 Morningside Dr.



Cross Section




| Size | Rough Opening Width | Frame Width | Frame Aperture Width | Skylight Width | Rough Opening Height | Frame Height | Frame Aperture Height | Skylight Height | Daylight Area (Sq. Feet) |
|------|---------------------|-------------|----------------------|----------------|----------------------|--------------|-----------------------|-----------------|--------------------------|
| A06 | 14 1/2 | 15 1/2 | 11 1/2 | 16 1/2 | 45 1/2 | 46 1/2 | 42 1/2 | 47 1/2 | 3.56 |
| C01 | 21 | 21 1/2 | 18 1/2 | 22 1/2 | 28 7/8 | 27 3/4 | 24 1/2 | 28 1/2 | 3.03 |
| C04 | 21 | 21 1/2 | 18 1/2 | 22 1/2 | 37 1/4 | 38 3/4 | 35 1/2 | 39 1/2 | 4.43 |
| C06 | 21 | 21 1/2 | 18 1/2 | 22 1/2 | 45 1/2 | 46 1/2 | 42 1/2 | 47 1/2 | 5.43 |
| C08 | 21 | 21 1/2 | 18 1/2 | 22 1/2 | 54 7/16 | 54 15/16 | 51 7/8 | 55 15/16 | 6.52 |
| C12 | 21 | 21 1/2 | 18 1/2 | 22 1/2 | 70 1/2 | 70 3/4 | 67 1/4 | 71 3/4 | 8.52 |
| D26 | 22 1/2 | 23 1/2 | 19 1/2 | 24 1/2 | 22 15/16 | 23 7/16 | 20 1/8 | 24 7/16 | 2.78 |
| D06 | 22 1/2 | 23 1/2 | 19 1/2 | 24 1/2 | 45 1/2 | 46 1/2 | 42 1/2 | 47 1/2 | 5.94 |
| M02 | 30 1/16 | 30 7/16 | 27 1/4 | 31 7/16 | 30 | 30 3/4 | 27 1/16 | 31 1/2 | 5.15 |
| M04 | 30 1/16 | 30 7/16 | 27 1/4 | 31 7/16 | 37 7/8 | 38 3/4 | 35 1/4 | 39 3/4 | 6.64 |
| M06 | 30 1/16 | 30 7/16 | 27 1/4 | 31 7/16 | 45 1/2 | 46 1/2 | 42 1/2 | 47 1/2 | 8.13 |
| M08 | 30 1/16 | 30 7/16 | 27 1/4 | 31 7/16 | 54 7/16 | 54 15/16 | 51 7/8 | 55 15/16 | 9.77 |
| S01 | 44 1/4 | 44 1/2 | 41 1/16 | 45 9/16 | 26 7/8 | 27 3/8 | 24 1/16 | 28 3/8 | 6.92 |
| S06 | 44 1/4 | 44 1/2 | 41 1/16 | 45 9/16 | 45 1/2 | 46 1/2 | 42 1/2 | 47 1/2 | 12.38 |

Glazings and Certification

| Glazing | NFRC U-factor | NFRC SHGC | NFRC VT | Hallmark 426-H-672 | IAPMO-ES ER 199 | Fla Prod Approval 13303 | HVHZ | TDI |
|---|---------------|-----------|---------|--------------------|-----------------|-------------------------|------|-------|
| 04 Laminated - 2.3 mm laminated (0.76 mm interlayer) with tempered Low E366 outer pane. | 0.44 | 0.26 | 0.60 | ✓ | ✓ | ✓ | | SK-03 |
| 06 Impact - 2.3 mm laminated (2.28 mm interlayer) with tempered Low E366 outer pane for hurricane areas. | 0.41 | 0.26 | 0.60 | ✓ | ✓ | ✓ | | SK-14 |
| 08 White laminated - 2.3 mm Laminated (0.76mm white interlayer) with tempered Low E366 outer pane. | 0.44 | 0.25 | 0.42 | ✓ | ✓ | ✓ | | SK-03 |
| 10 Snowload - 3 mm laminated (0.76 mm interlayer) with tempered Low E366 outer pane. | 0.48 | 0.27 | 0.45 | ✓ | | | | |

Consult with Customer Service for special glazing options.



FS Fixed Skylight Technical Product Data Sheet

VELUX®

Description

- FS Fixed Deck Mount Skylight that mounts to the roof deck. Fixed skylight, provided with various glazings, is manufactured with a white finished (optional stain grade) pine frame/sash, a neutral gray aluminum profile (optional copper) and an insulated glass unit.

Installation

- Designated top, bottom, and sides for installation in one direction.
- Single unit applications or combination flashing for multiple skylight applications, over/under, side by side.
- 14 degrees to 85 degrees, use standard installation procedure.



Flashings

- EDL - Engineered neutral gray flashing for single installation with thin roofing material (1/2" max) for roof pitches from 14-85 degrees.
- EDW - Engineered neutral gray flashing for single installation with tile (over 3/4") roofing material for roof pitches from 14-85 degrees.
- EDM - Engineered neutral gray flashing for single installation with metal roof (1 1/2"-1 3/4" max profile) for roof pitches from 14-85 degrees.
- EKL - Engineered neutral gray flashing for multiple skylights with thin roofing material (Max. 5/16") on roof pitches from 14 to 85 degrees.
- EKW - Engineered neutral gray flashing for multiple skylights with high profile roofing material (Max. 3/2") on roof pitches from 15 to 85 degrees.
- Applications less than 14-degree roof pitch - flashing provided by others.



Standard Sizes

- A06, C01, C04, C06, C08, C12, D26, D06, M02, M04, M06, M08, S01, S06
- No custom sizes available.

Warranty

- Installation** - 10 years from the date of purchase; VELUX No Leak Warranty warrants skylight installation. Must be installed with VELUX flashings and included adhesive underlayment.
- Skylight** - 10 years from the date of purchase; VELUX warrants that the skylight will be free from defects in material and workmanship.
- Glass Seal** - 20 years from the date of purchase; VELUX warrants that the insulated glass pane will not develop a material obstruction of vision due to failure of the glass seal.
- Hail Warranty** - 10 years from the date of purchase; VELUX warrants only laminated glass panes against hail breakage.
- Accessories and Electrical Components** - 5 years from the date of purchase; VELUX warrants Velux shades and control systems will be free from defects in material and workmanship.

Interior Accessories

- FSCH - Solar powered Room darkening - double pleated shade.
- FSLH - Solar powered Light filtering - single pleated shade.

Type Sign

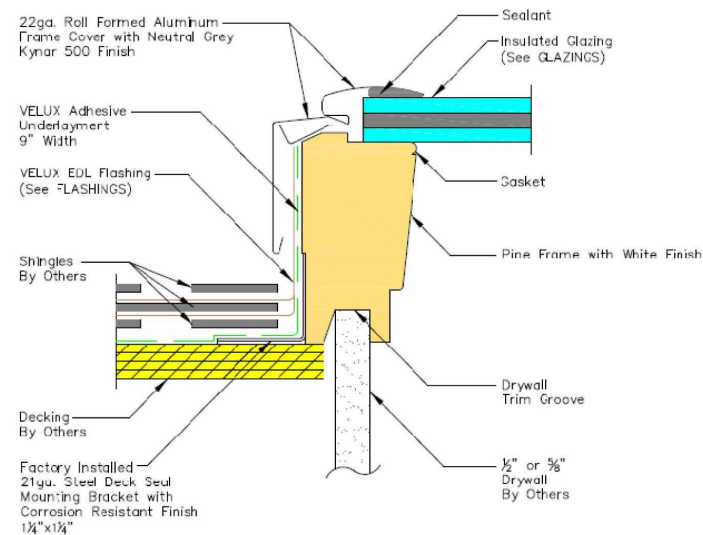
- Example: FS C01 0004E 01BM05
- Located on bottom of interior frame.

Application Information

Case # HZ-24-50

117 Morningside Dr.

VELUX®



Corner keys made of ASA Luran in neutral grey finish.

Relevant Ferger Place Guidelines:

Case # HZ-24-50, 117 Morningside Dr.

Roofs and Roofing, Page 11

Windows and Doors, Page 13

Staff Report

5.A. Roofs and Roofing


1. Original roof pitch, and configuration and shape shall be maintained.
2. Original roof materials and color should be maintained or replaced with materials that visually match the old in size, composition, shape, color, and texture. Other materials may be substituted for original roofing when it is not economically feasible to replace or repair with original materials or when the original roof is beyond repair.
3. The color and texture of the material should be appropriate to the architectural style and period of the house.
4. The original size and shape of dormers should be maintained. Dormers generally should not be introduced where none existed originally. Dormer windows should meet the Guidelines concerning windows. **The request is to introduce four skylights to the roof of the house where they previously did not exist.**
5. Architectural features that give the roof its essential character should be maintained/retained. Such features include dormers, dormer windows, cornices, brackets, verge boards, exposed rafters, chimneys, finials, weathervanes, soffits, overhangs, friezes, gutters, and downspouts, and any other feature that helps characterize the style of the building. **The installation of the skylights may impact the essential character of the existing roof structure.**
6. Gutters and downspouts are important to the appearance and maintenance of roofs. The gutter system should be preserved or repaired with matching materials when possible. If replacement is necessary, the materials should be appropriate to the building on which they are located and have the same size, shape, texture, and material as the historic gutter and downspout systems.

Staff Report

Case # HZ-24-50, 117 Morningside Dr.

5.C. Windows and Doors

1. The original size, shape, and materials of windows and doors should be preserved or replaced if beyond repair.
2. Existing window and door openings and hardware including window sash, glass, lintels, sills, architraves, shutters, doors, pediments, hoods, steps, transoms, side lights, and all hardware, should be retained and repaired if possible.
3. The original number and arrangement of panes should be maintained.
4. Storm windows and doors should be visually unobtrusive - they should be painted, anodized, or coated to match the existing. They should not damage existing frames and should be able to be removed in the future.
5. Plastic or metal strip awnings or non-original shutters that detract from the character and appearance of the building should not be used.
6. **New window and door openings should not be introduced. The request is to install new skylight openings on the roof. The applicant installed skylights from a different size than what was previously approved. The CHZC previously approved 24"x36" skylights and the applicant installed 21" x 45.75" skylights.**
7. Original window and door openings should not be filled in.




Case # HZ-24-50
117 Morningside Dr.

Applicant Presentation (10 minutes maximum)

Case # HZ-24-50
117 Morningside Dr.

Community Comments & Comments by Other Persons
(3 minutes maximum per person)





Case # HZ-24-50
117 Morningside Dr.

Applicant Response (5 minute maximum)

**Historic Zoning Commission Discussion
Motion and Vote**



New Business

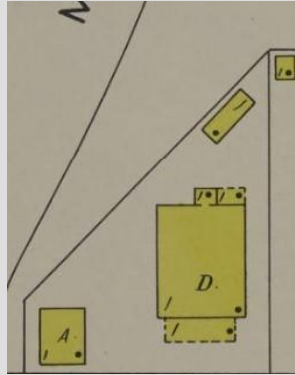
Case # HZ-24-27

1709 W. 43rd Street

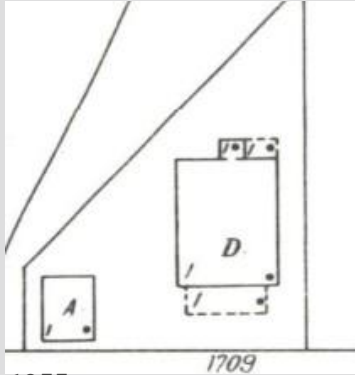
Neighborhood: St. Elmo

Historic Structure: Yes, ca. 1929

Description of proposed project: Exterior Rehabilitation for Primary Dwelling + ADU, Stop Work Order



1930



1955

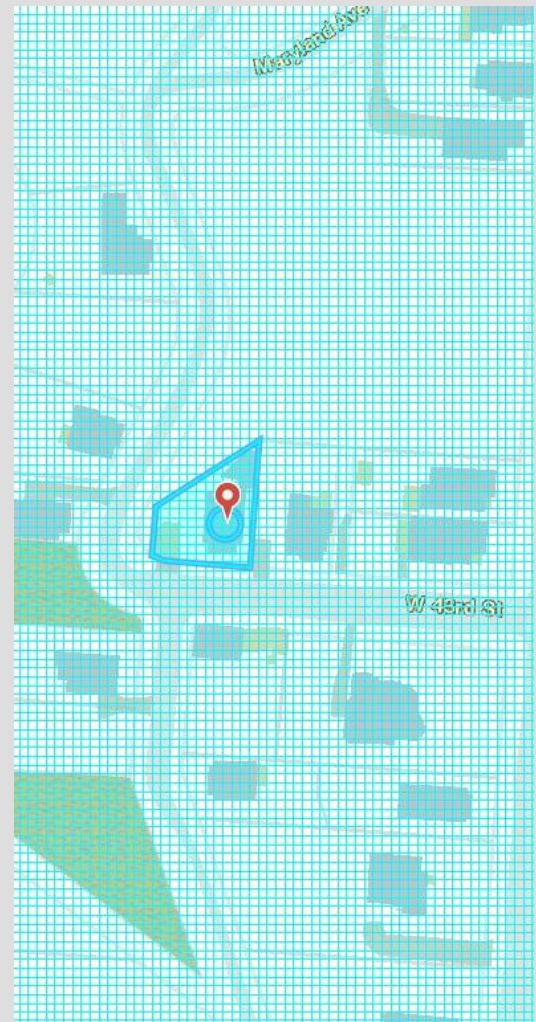


Historic Zoning History:

HZ-22-85: Request to demolish the buildings, request was denied by the CHZC

Map Location

Case # HZ-24-27
1709 W. 43rd St.



Property Photos

Case # HZ-24-27

1709 W. 43rd St.



Property Photos

Case # HZ-24-27
1709 W. 43rd St.



Property Photos

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1709 W. 43rd St.



Property Photos

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1709 W. 43rd St.



Property Photos

Case # HZ-24-27
1709 W. 43rd St.



Property Photos

Case # HZ-24-27
1709 W. 43rd St.



Neighboring Property Photos

Case # HZ-24-27
1709 W. 43rd St.



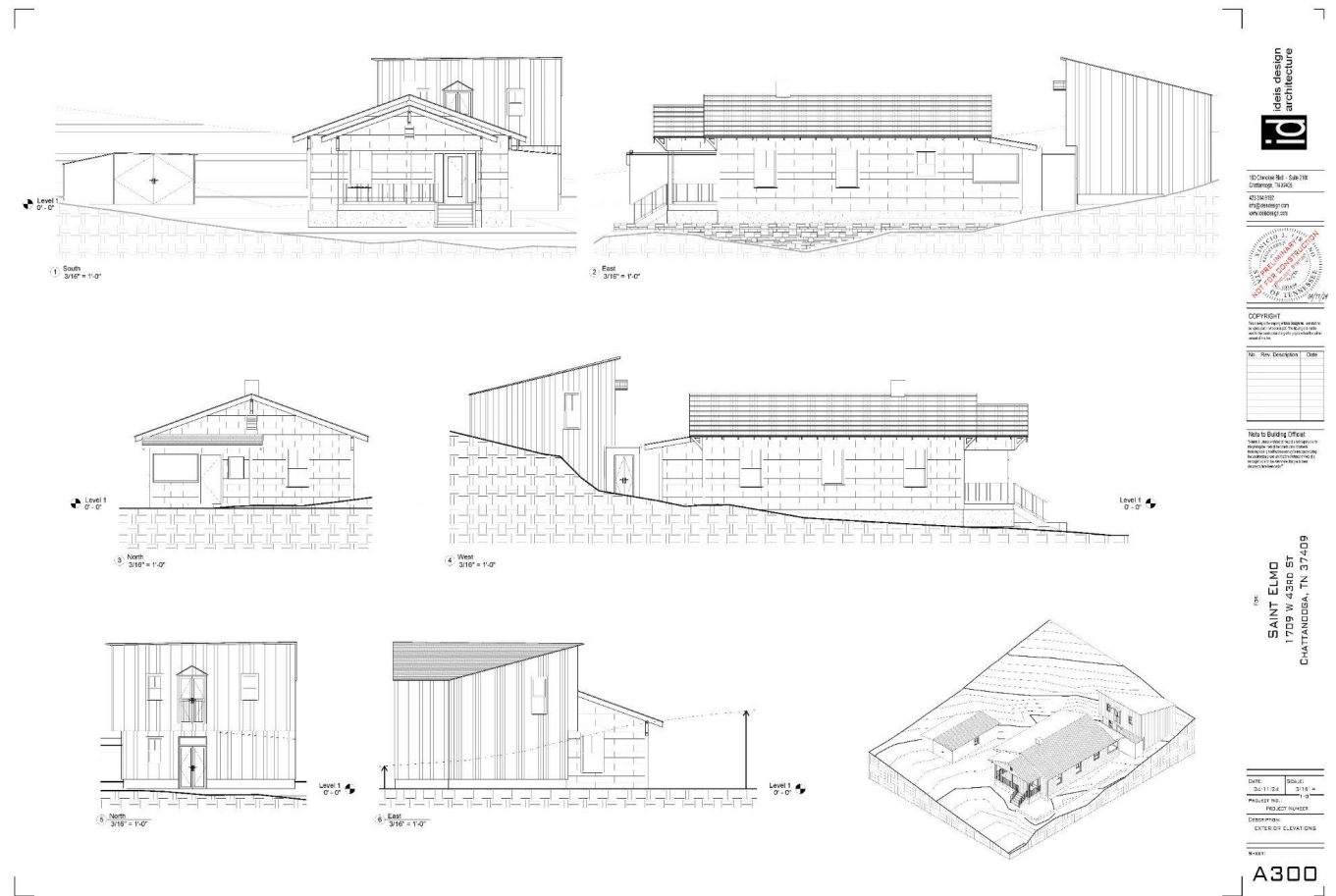
Neighboring Property Photos

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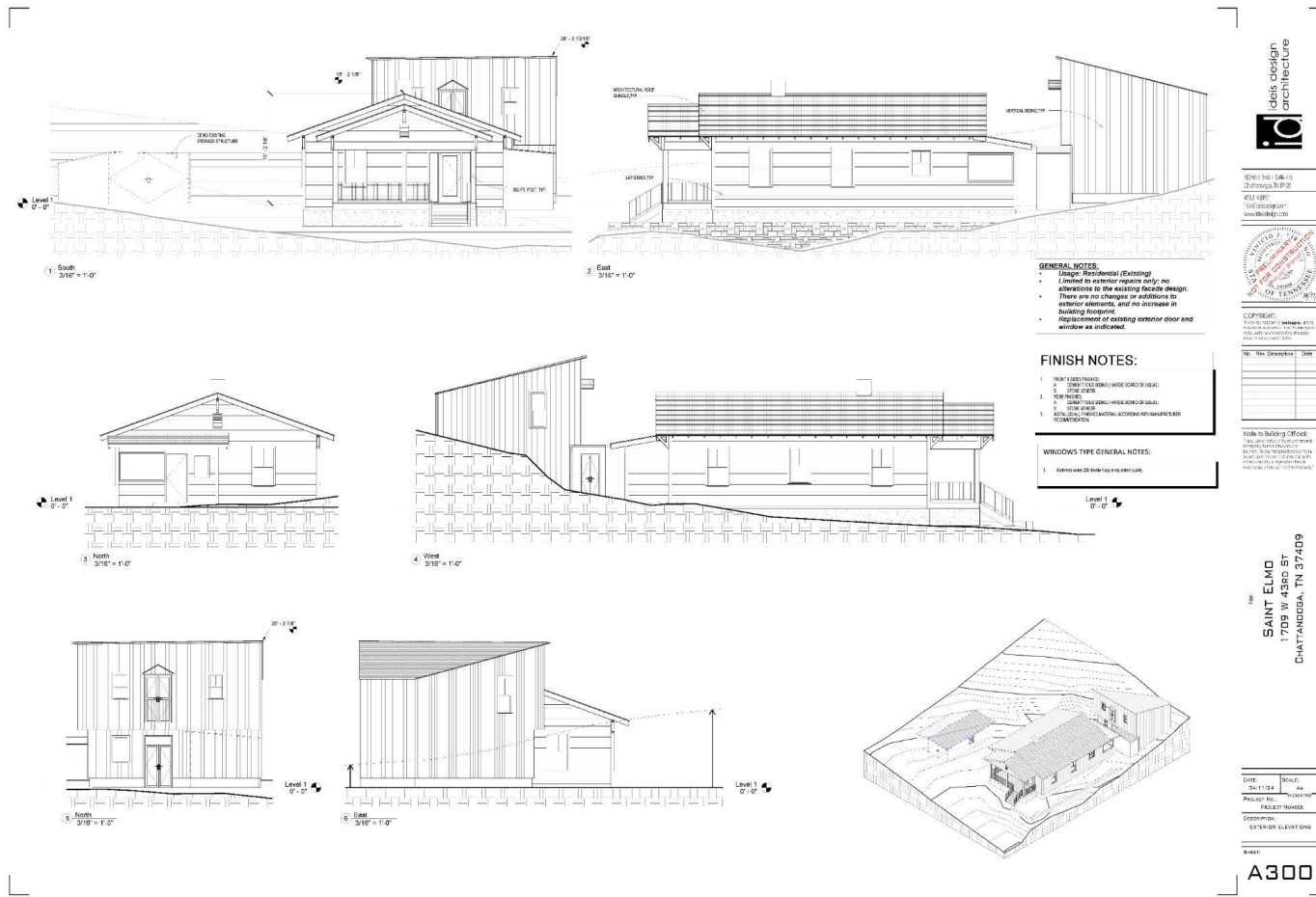


Application Information

Case # HZ-24-27
1709 W. 43rd St.



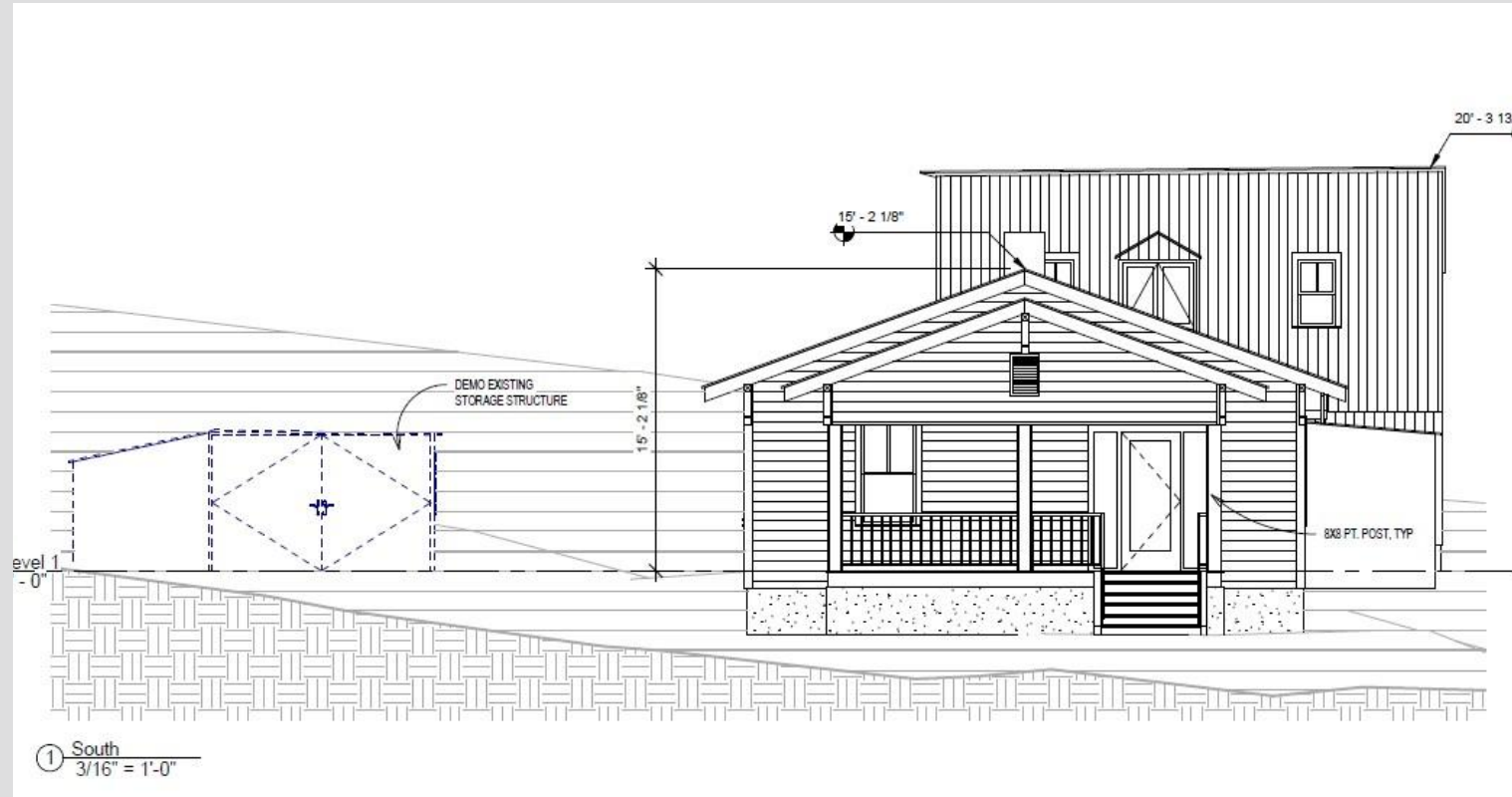
Case # HZ-24-27
1709 W. 43rd St.



Application Information

Case # HZ-24-27

1709 W. 43rd St.



Application Information

Case # HZ-24-27

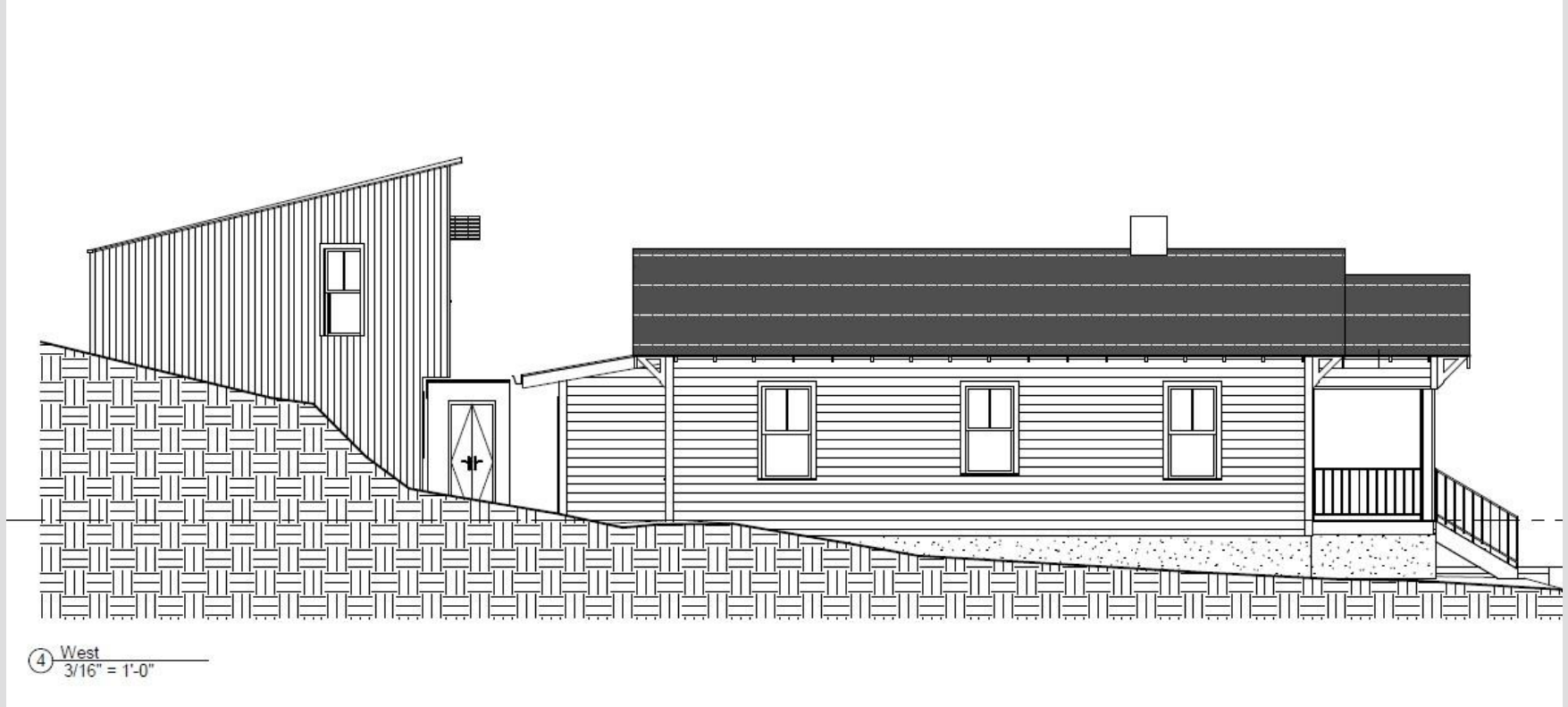
1709 W. 43rd St.



Application Information

Case # HZ-24-27

1709 W. 43rd St.



Application Information

Case # HZ-24-27
1709 W. 43rd St.



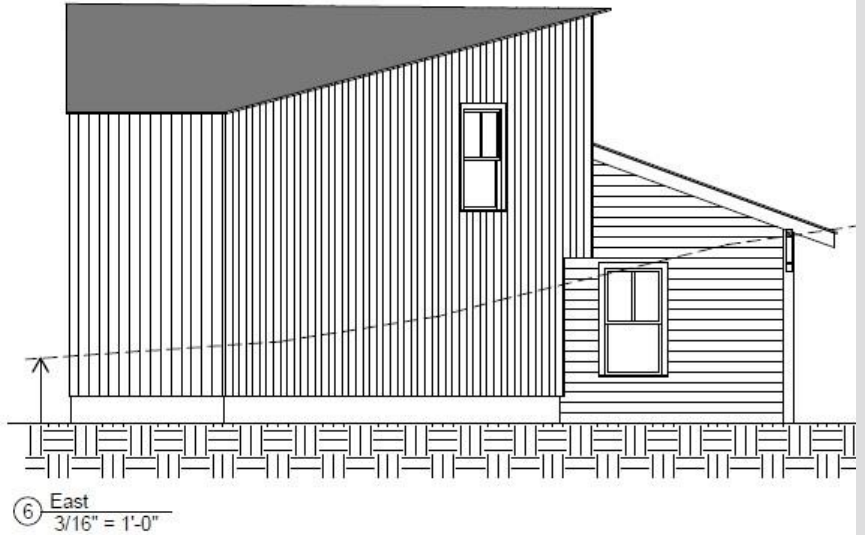
Application Information

Case # HZ-24-27

1709 W. 43rd St.



Level 1
0' - 0"



Material List

Case # HZ-24-27
1709 W. 43rd St.

GENERAL NOTES:

- *Usage: Residential (Existing)*
- *Limited to exterior repairs only; no alterations to the existing facade design.*
- *There are no changes or additions to exterior elements, and no increase in building footprint.*
- *Replacement of existing exterior door and window as indicated.*

FINISH NOTES:

1. FRONT & SIDES FINISHES:
 - A. CEMENTITIOUS SIDING (HARDIE BOARD OR EQUAL)
 - B. STONE VENEER
2. REAR FINISHES:
 - A. CEMENTITIOUS SIDING (HARDIE BOARD OR EQUAL)
 - B. STONE VENEER
3. INSTALLED ALL FINISHES MATERIAL ACCORDING WITH MANUFACTURER RECOMMENDATION.

WINDOWS TYPE GENERAL NOTES:

1. Anderson series 200 double hung or equivalent quality.

Material List

Case # HZ-24-27
1709 W. 43rd St.



Remodel/Flip

1709 W. 43rd Street

Chattanooga, TN 374069

Materials for renovation:

Royal Sovereign Charcoal Algae Resistant 3-Tab Roofing Shingles

Window – 50 sh fin 3030 Low-E FF

Window - 50 SH FIN 3040 Low- E FF

Window – SH FIN 2830 Low- E FF

Door – Prov ¾ Oval SMFG BM HOP- Right hand inswing 36"x80" - fiberglass

Door – Masonite Premium smooth fiberglass – Right hand inswing - 36"x80"

Door – Full Lite RLT Miniblint Left hand inswing 72"x8"

Door – Full lite RLT Miniblint right hand inswing 72"x80"

JH Plank 8-¼ SELCDR HZ10 Monterey Taupe 76 – Hardie plank

JH Plank 8/14 SM HZ10 Monterey Taupe Hardie plank

Mosaic Lille Natural Thine Stone Veneer stone for bottom of house.

White exterior Paint. on the front porch and railings.

Faux Cedar Non- Tapered Square Column (3) and wood railing to replace front porch rails

Monterey Taupe Exterior paint on front porch

Relevant St. Elmo Guidelines:

Case # HZ-24-27, 1709 W. 43rd St.

6.8 Doors, Page 40

6.13 Foundations, Page 45

6.22 New Construction Page 52

6.25 Porches, Porch Columns Railings, Page 59

6.33 Siding, Page 70

6.41 Windows, Page 74

Staff Report

8. Doors

Doors and door surrounds are important features in defining the style and character of a building. Original doors should be preserved and maintained and original features should be repaired rather than replaced.

A. And/or their surrounds, sidelights, transoms, and detailing should not be removed or altered. **The plans note the front door and transoms to be replaced. It's unclear if the front door was already missing prior to the Stop Work Order, but the transoms are still in place.**

B. New doors should not replace historic doors at the front entrance or at side entrances which are readily visible from the street.

C. Of historic designs which are missing should be replaced with new doors appropriate for the style and period of the building. In replacing missing original doors, replacement doors should be similar in design to the original in style, materials, glazing (glass area) and lights (pane configuration). If the original design is unknown, a secondary entrance may contain an original door which can be moved to the main entrance. Salvage companies may also have historic doors available. **The applicant is proposing a full lite front door.**

D. Of solid six-panel or flush wood or steel design should be used only for rear entrances or side entrances which are not readily visible from the street.

E. Of “decorator” designs available from wholesale hardware stores usually don’t work for front entrances. These doors are not similar enough to the historic door designs of St. Elmo buildings. Doors with fake leaded glass inset designs also don’t work for front entrances. For Craftsman/ Bungalow dwellings, fi ft een-light wood doors are readily available from wholesale stores and are acceptable for front entrances.

F. If doors are introduced where none existed originally, they should be added at the rear or sides of buildings where not readily visible.

Staff Report

Case # HZ-24-27, 1709 W. 43rd St.

13. Foundations

Many St. Elmo dwellings have finely crafted foundations of native stone and brick is also widely used as a foundation material. Repointing and repair of masonry foundations should follow masonry guidelines.

- A. Should be preserved and maintained in their original design and with original materials and detailing.
- B. Between existing piers should be filled in as traditional for the type and style of the house, generally with wood lattice framed panels; with brick of color, tooling, and mortar color appropriate for the period of the house, or with decorative vertical wood boards.
- C. Should not be concealed with concrete block, plywood panels, corrugated metal, or wood shingles.
- D. If masonry, should be cleaned, repaired, or repointed according to masonry guidelines.
- E. Of brick may be painted or stuccoed if the brick and/or mortar is mismatched or inappropriately repaired. Dark reds, browns or other traditional brick colors are appropriate paint colors for foundations. **The existing foundation is stuccoed or covered with concrete. The applicant is proposing a stone veneer over the foundation.**

Staff Report

Case # HZ-24-27, 1709 W. 43rd St.

22.C. Of secondary buildings such as garages, carports, and other outbuildings should be:

1. Smaller in scale than the primary building; **The existing, non-conforming outbuilding is taller than the primary dwelling.**
2. Simple in design but reflecting the general character of the primary building. For example, use gable roof forms if the main dwelling has a gable roof, hipped roof forms if the main dwelling has a hipped roof etc.; **The existing, non-conforming outbuilding does not reflect the form of the primary dwelling.**
3. Located as traditional for the street, near an alley or at the side of the dwelling, not close to or attached to the primary building; and
4. Compatible in design, shape, materials, and roof shape to the main building. **The existing, non-conforming outbuilding does not have similar design, shape, materials, or roof shape as the primary dwelling.**
5. Preferably of wood siding. However, if located along rear alleys or towards the rear of the lot, secondary buildings may have exterior siding materials such as masonite (preferred), aluminum, or vinyl. Along rear alleys or rear lot lines, standard prefabricated buildings are also acceptable. **The applicant to confirm the proposed siding for the outbuilding.**
6. If readily visible from the street, secondary buildings should have an emphasis on historic designs and detailing. For garages wood paneled doors are more appropriate than paneled doors of vinyl, aluminum, or steel. Wood paneled overhead roll-up doors are widely available and are appropriate for new garages. **The outbuilding is visible, because of its height, from W. 43rd Street.**

The applicant has not confirmed if the structure will be used as an Accessory Dwelling Unit or just as storage/outbuilding. The building will likely need setback and height variances from the Board of Zoning Appeals if it is to remain. There may also be issues with the distance between the structures per Building Code.

Staff Report

Case # HZ-24-27, 1709 W. 43rd St.

25. Porches, Porch Columns and Railings

Porches are one of the most important defining characteristics of a pre-1945 building. Original porches should be repaired and maintained. Those on the fronts of buildings should not be enclosed with wood or glass panels. The screening of porches on the fronts of buildings is appropriate. If replacement of porch elements is required, use materials to closely match those which exist. If the original porch is missing, construct a new porch based upon photographic or physical evidence, or base the design upon historic porches of district buildings built at the same period and in similar architectural style. In some cases turn of the century dwellings had their original porches removed and replaced with Craftsman/Bungalow style porches in the 1920s and 1930s. If desired, these Craftsman/Bungalow porches may be replaced with porches in keeping with the original design.

A. On front and side facades should be maintained in their original configuration and with original materials and detailing.

B. Should not be removed if original.

C. And their details should be retained intact with repair work and replacement of missing parts, such as columns, posts, railings, balusters, decorative molding and trim work, to match the original in design, materials, scale, and placement.

The applicant has removed the metal columns and balustrade from the front porch. The plans seem to indicate new wooden columns and balustrade. Applicant to confirm dimensions and material.

D. On the fronts of dwellings should not be enclosed.

E. On the rear and sides of dwellings may be enclosed when not readily visible from the street and if the height and shape of the porch roof is maintained.

F. Should have wood steps, not brick or concrete, for buildings with wood porch floors. Although not as appropriate, brick or precast concrete steps may be added to front porches.

G. May be screened if the structural framework for the screen panels is minimal and the open appearance of the porch is maintained. Wood Framing for the screen panels is preferred; however, anodized or baked enamel aluminum frames are also acceptable. The use of “raw” or silver aluminum framing is not appropriate.

J. Should have wood tongue and groove flooring running perpendicular to the façade (unless the original floor is concrete).

Staff Report

Case # HZ-24-27, 1709 W. 43rd St.

25. Porches, Porch Columns and Railings Cont...

Historic porch columns and railings should be retained and repaired with materials to match the original. If the original porch columns and railings are missing, replacement porch columns and railings should be appropriate for the dwelling's architectural style and period.

- A. Should be preserved and maintained. If repair is required, use materials to match the original in dimensions and detailing.
- B. Often deteriorate first at the bottom next to the porch floor. If this is the case, consider sawing off the deteriorated area and replacing this section rather than replacing the entire column.
- C. Of aluminum, wrought iron, or other modern materials are not appropriate for front porches. These types of columns are not preferred but are acceptable for porches at the rear of a dwelling or for side porches which are not readily visible from the street.
- D. On front porches should be rebuilt in historic designs if the original columns and railings are missing. For Queen Anne and Folk Victorian styles of the turn of the century, milled porch columns are appropriate and are readily available from wholesale companies. These porch columns are generally 8' in height and have widths and depths of 4". For Craftsman/Bungalow porches round, square, or tapered square wood columns are best. Although generally not available at wholesale hardware stores, they can be ordered from milling companies. These columns should fit the porch height and if round, have diameters of no less than 6" and no more than 10". Square columns or tapered square columns should be a minimum of 8" and a maximum of 10" in depth and width. **Applicant to provide dimensions of proposed porch columns and balustrade.**
- E. On front porches may require new newel posts. Porch newel posts in historic designs are readily available and are generally 4' high and measure 4" in width and depth. The "ball top" newel post is best for Queen Anne or Folk Victorian porches. The "V-Groove" post is acceptable for Queen Anne, Folk Victorian, and Craftsman/Bungalow dwellings. Avoid the "French Gothic" post which is not as appropriate for the houses in St. Elmo.
- F. On front porches may require new balusters for the railing. Porch balusters (also called spindles) are readily available in historic designs from wholesale hardware stores. The milled spindles measuring 3' high and 2" in diameter are best for Queen Anne and Folk Victorian dwellings. Square balusters which are 3' high and 2" in width and depth are best for Craftsman/Bungalow dwellings. The "jumbo" balusters or spindles which measure 3"x3" or 4"x4" are too large and should not be added to front porches or porches readily visible from the street.

Staff Report

Case # HZ-24-27, 1709 W. 43rd St.

6.33 Siding

Exterior wood siding and shingles are essential components defining a building's architectural character. The concealment of original wood siding with vinyl, aluminum, or other synthetic sidings is not appropriate. These siding materials do not successfully imitate the original wood siding dimensions or texture. There are also potential structural problems inherent in the use of these materials on historic buildings.

Siding guidelines for St. Elmo are as follows:

A. Wood siding original to the building should be repaired rather than replaced only where necessary due to deterioration.

B. Wall shingles original to the building should be preserved but if replacement is necessary the new shingles should match the original in size, placement, and design (this includes decorative wood shingles of Victorian buildings as well as wood or asphalt shingles of bungalow period houses).

C. The application of masonite over original wood siding is also not appropriate and is discouraged. Repair of original wood siding should be with wood siding to match the original. However, masonite may be used if the dimensions, texture, and color matches the original wood siding.

D. The removal of synthetic sidings such as aluminum, asbestos, and vinyl and the restoration of the original wood siding is highly encouraged. **The applicant is proposing hardie board siding for the dwelling. The accessory structure is showing vertical siding, but no material is listed.**

E. The application of synthetic or substitute materials such as vinyl or aluminum over original wood siding is not appropriate and their use is discouraged but not prohibited. To be approved, the application of these materials must not result in the concealment of or removal of original decorative detailing or trim. This includes the concealment of window and door surrounds. Synthetic siding materials should match the dimensions of the original wood siding as closely as possible. Care should be taken to have the synthetic sidings vented to the maximum extent possible.

NOTE: The application of synthetic sidings is in violation of federal standards and such projects would not qualify for any federal tax credits.

F. Consideration for determining the appropriateness of a change in siding will be based on the following criteria: what is the age of the building and is it contributing or significant to the district; where is the building located within the district, and; are the proposed changes visible from the street or on a primary façade?

G. Siding of particle board or pressboard is also not appropriate for the fronts of dwellings or sides which are readily visible from the street. Almost all frame dwellings in St. Elmo have horizontal siding forms. Vertical siding such as "T1-11" is not appropriate.

H. Asbestos shingles which are original to a dwelling should be kept stained or painted. If asbestos shingle siding is deteriorated or poses a health hazard, it may be enclosed or covered with other synthetic sidings such as vinyl or masonite. **The asbestos shingle siding may be original to the dwelling. Applicant to confirm if lap siding exists beneath existing siding.**

Staff Report

Case # HZ-24-27, 1709 W. 43rd St.

6.41 Windows

St. Elmo boasts a wide variety of historic wood windows in various sash designs and sizes. Windows should be maintained or repaired to match the original design. If windows are deteriorated beyond repair, the installation of new wood windows to match the original designs is best. Vinyl clad windows or windows of anodized aluminum are also acceptable but these are more appropriate at the rear or sides of dwellings which are not readily visible from the street. If only one or two windows on the front of the house are deteriorated, consider removing good condition windows from the rear or sides of the house to add in their place.

Original window openings should not be covered or concealed. They should also not be enclosed for the addition of smaller windows. New windows should not be added on the fronts of dwellings but may be added at the rear or sides if not readily visible from the street. The addition of window screens to historic windows is fine as long as the screens are full-view design or have a central meeting rail to match the historic window.

A. Should be preserved in their original location, size, and design and with their original materials and number of panes.

B. Should not be added to primary facades or to secondary facades where readily visible.

C. Should be repaired rather than replaced, but if replacement is necessary due to severe deterioration, the replacement should be in-kind to match the originals in material and design.

Some windows are missing or have already been removed. The applicant proposes to replace all the windows with vinyl double hung windows. The applicant did not provide a window schedule or coordinate a site visit with staff to review which windows may be deteriorated beyond repair.


D. Of steel or other metal designs should be preserved and maintained, or replaced with new metal windows which are similar in appearance and materials.

E. Should not have snap-on or flush muntins. These muntins are much thinner than the muntins on historic windows and don't look real.

F. Screens and/or storms should be wood or baked-on or anodized aluminum and fit within the window frames, not overlap the frames.

G. Should not have shutters unless they are of louvered wood construction and are designed to fit the window opening (so that if closed, they would cover the window opening).

H. Should not have security bars where visible from the street.




Case # HZ-24-27
1709 W. 43rd St.

Applicant Presentation (10 minutes maximum)

Case # HZ-24-27
1709 W. 43rd St.

Community Comments & Comments by Other Persons (3 minutes maximum per person)





Case # HZ-24-27
1709 W. 43rd St.

Applicant Response (5 minute maximum)

**Historic Zoning Commission Discussion
Motion and Vote**

Case # HZ-24-70

5002 Florida Avenue

Neighborhood: St. Elmo

Historic Structure: Yes, ca. 1920

Description of proposed project: Remove Existing Carport + Asphalt Driveway,
Construct New Carport/Shed and Concrete Driveway



Historic Zoning History:

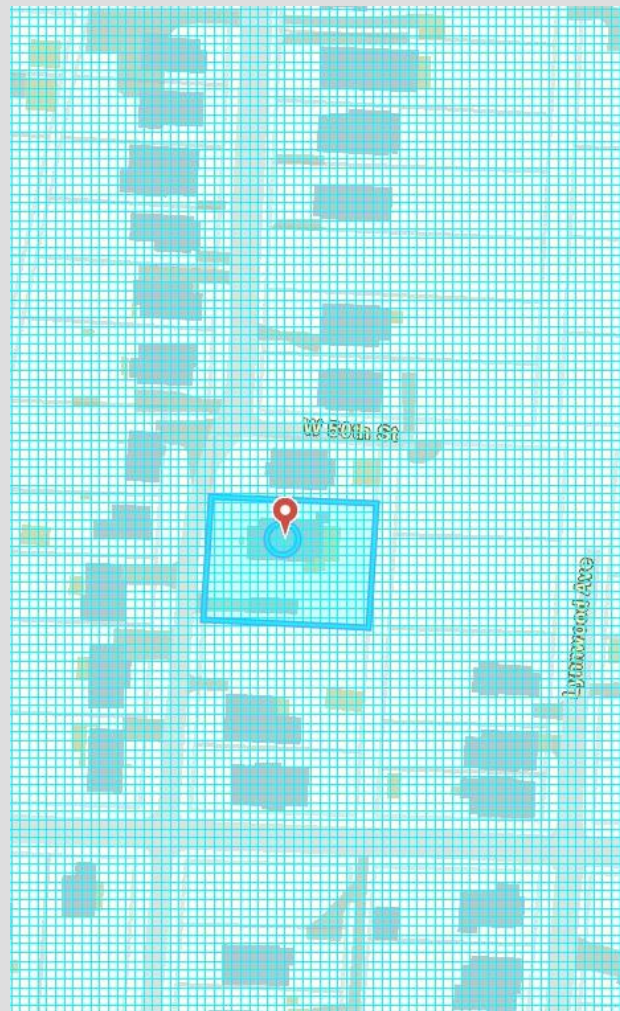
HZ-23-6: Window, Door, and Chimney Removal/Replacement

HZ-23-177: Exterior Rehabilitation

HZ-23-178: In-kind repair or CMU Block Wall, Roof Replacement

Map Location

Case # HZ-24-70
5002 Florida Ave.



Property Photos

Case # HZ-24-70
5002 Florida Ave.



Property Photos

Case # HZ-24-70
5002 Florida Ave.



Property Photos

Case # HZ-24-70
5002 Florida Ave.



Neighboring Property Photos

Case # HZ-24-70
5002 Florida Ave.



Neighboring Property Photos

Case # HZ-24-70
5002 Florida Ave.



Neighboring Property Photos

Case # HZ-24-70

5002 Florida Ave.



Application Information

Case # HZ-24-70
5002 Florida Ave.



1 Site Plan
SP1 Scale: 1/4" = 1'-0"

Drawn By:
SAFL
Date:
7.9.2024

Project:
5002 Florida Ave
Chattanooga, TN 37409

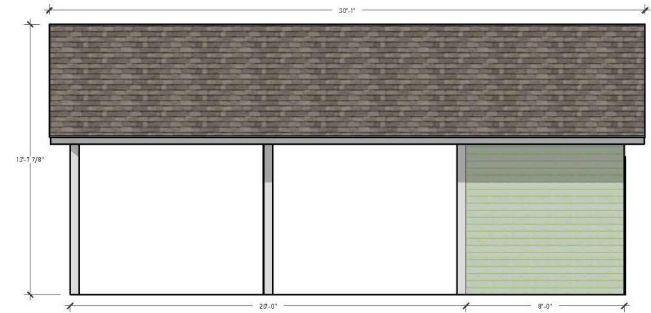
SP1
Site Plan

Application Information

Case # HZ-24-70
5002 Florida Ave.



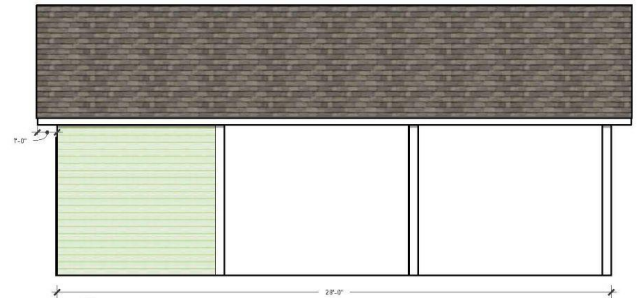
1 Carport Front Elevation
Scale: 1/8"



2 Carport Right Elevation
Scale: 1/8"



3 Carport Rear Elevation
Scale: 1/8"



4 Carport Left Elevation
Scale: 1/8"

Drawn By:
SAFL
Date:
7.9.2024

Project:
5002 Florida Ave
Chattanooga, TN 37409

EL1
Elevation

Application Information

Case # HZ-24-70
5002 Florida Ave.



1 Top view
3D3 Scale: 3D No Scale

Drawn By:
SAFL
Date:
7.9.2024

Project:
5002 Florida Ave
Chattanooga, TN 37409

3D2
3D Views

Application Information

Case # HZ-24-70
5002 Florida Ave.



1 Front view
3D1 Scale: 3D No Scale

Drawn By:
SAFL
Date:
7.9.2024

Project:
5002 Florida Ave
Chattanooga, TN 37409

3D1
3D Views

Application Information

Case # HZ-24-70
5002 Florida Ave.



1 Front view
3D2 Scale: 3D No Scale

Drawn By:
SAFL
Date:
7.9.2024

Project:
5002 Florida Ave
Chattanooga, TN 37409

3D2
3D Views

Material List

Case # HZ-24-70

5002 Florida Ave.

5002 Florida Ave Materials List

Exterior Veneer:

Siding

1x6 #117 C&BTR Pine Siding (Double Pine Siding)

Trim

1x4 Miratec

Posts

6x6 PT - 1x8 Miratec Wrapped

Roofing:

IKO Dynasty Architectural Shingles (Cornerstone color)

Doors:

5-0' x 6' 8" N90SM-Half Lite-LE Nova 90 Flush Glazed Fiberglass Double Door w/Composite Smooth T-Astragal 16' w/Low E Glass - Left Hand Inswing /Standard 5-1/2" Spacing) w/Recessed Latch Preps 12-3/8" Backset - Double Bore (2-1/8" Dia. Bore w1Set with Brick Mould

Driveway:

3000 PSI Exterior Concrete, Broomed Finish.

Relevant Saint Elmo Guidelines:

Case # HZ-24-70, 5002 Florida Ave.

6.9 Driveways & Parking, Page 41

6.22 New Construction, Page 52

Staff Report

9. Driveways & Paving

Access to the buildings in St. Elmo is generally from rear alleys and new driveways for buildings should also be added at the rear of the lot. The popularity of the Craftsman/Bungalow style coincided with the rise in automobile ownership and many of these dwellings have side lot driveways and original garages. Within the district historic driveway materials such as concrete should be preserved and new driveways should be designed with traditional materials and placement.

A. And their original designs, materials, and placement should be preserved.

B. Which are new, should be located at the rear with access from the alley. **The driveway and parking area is proposed to the side of the dwelling (double lot). There is an existing driveway and parking area in this location currently. The applicant is proposing to expand the existing driveway and parking.**

C. In the front or side yards should be of gravel (white or pea gravel), concrete, or concrete tracks (narrow strips). Blacktop or asphalt driveways may be approved but this material is not traditional to the neighborhood and should be avoided. **The applicant is proposing an expanded concrete driveway and parking pad.**

D. Should have their parking areas located in the rear yard nearer the alley than the building and screened with hedges, shrubs, or fences where noticeable from the street. **The driveway and parking area are located to the side of the dwelling.**

E. Of semi-circular design should not be sited in front yards.


F. Requiring new curb cuts to access driveways and parking lots should be kept to a minimum. The addition of curb cuts usually results in the removal of historic sidewalk materials, curbs, and retaining walls. Access through rear alleys is better than adding new curb cuts. Traditional paving materials for driveways include gravel and concrete which are more appropriate materials than aggregate or asphalt. Textured concrete designed to look like brick pavers is also an appropriate material.

Staff Report

Case # HZ-24-70, 5002 Florida Ave.

C. Of secondary buildings such as garages, carports, and other outbuildings should be:

1. Smaller in scale than the primary building; **Yes. The garage/carport is proposed to be approximately 13' in height.**
2. Simple in design but reflecting the general character of the primary building. For example, use gable roof forms if the main dwelling has a gable roof, hipped roof forms if the main dwelling has a hipped roof etc.; **The proposed garage/carport has a gable roof with a vent mimicking the primary dwelling's gable roof and window/vent.**
3. Located as traditional for the street, near an alley or at the side of the dwelling, not close to or attached to the primary building; **Yes, the proposed garage/carport is to the side of the dwelling.**
4. Compatible in design, shape, materials, and roof shape to the main building. **Yes, generally compatible with the design, shape, materials, and roof shape of the main structure.**
5. Preferably of wood siding. However, if located along rear alleys or towards the rear of the lot, secondary buildings may have exterior siding materials such as masonite (preferred), aluminum, or vinyl. Along rear alleys or rear lot lines, standard prefabricated buildings are also acceptable. **The applicant has proposed pine siding.**
6. If readily visible from the street, secondary buildings should have an emphasis on historic designs and detailing. For garages, wood paneled doors are more appropriate than paneled doors of vinyl, aluminum, or steel. Wood paneled overhead roll-up doors are widely available and are appropriate for new garages. **The proposed garage/carport does not have any overhead doors proposed. The gable over the carport mimics the gable on the primary dwelling.**




Case # HZ-24-70
5002 Florida Ave.

Applicant Presentation (10 minutes maximum)

Case # HZ-24-70
5002 Florida Ave.

Community Comments & Comments by Other Persons (3 minutes maximum per person)





Case # HZ-24-70
5002 Florida Ave.

Applicant Response (5 minute maximum)

**Historic Zoning Commission Discussion
Motion and Vote**

Case # HZ-24-72

4302 Seneca Avenue

Neighborhood: St. Elmo

Historic Structure: Yes, ca. 1958

Description of proposed project: Front Porch + Addition



Historic Zoning History:

HZ-13-125: Exterior Rehabilitation (siding, windows, extend back porch)

HZ-13-149: Replace siding

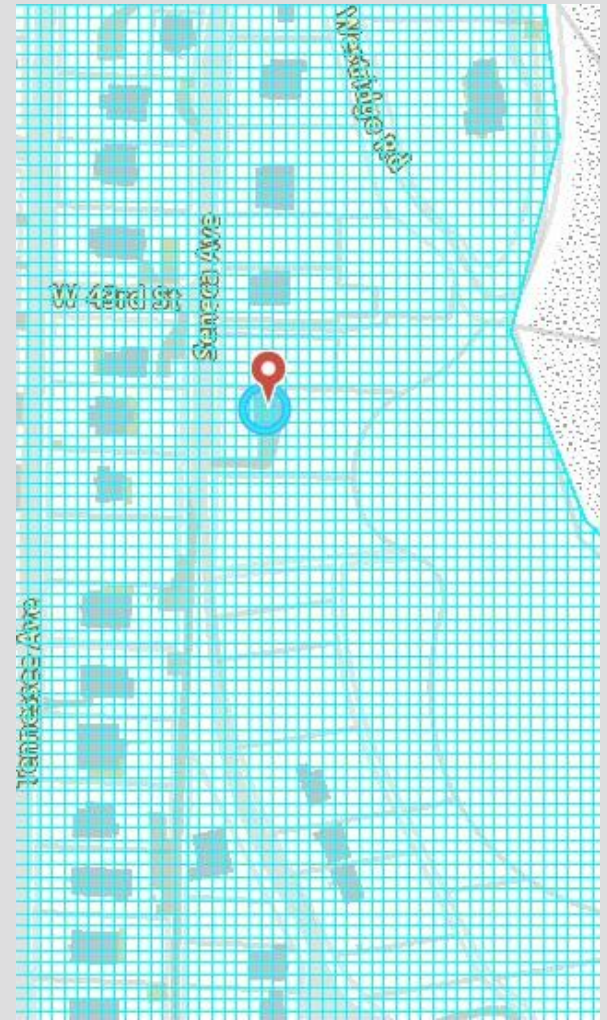
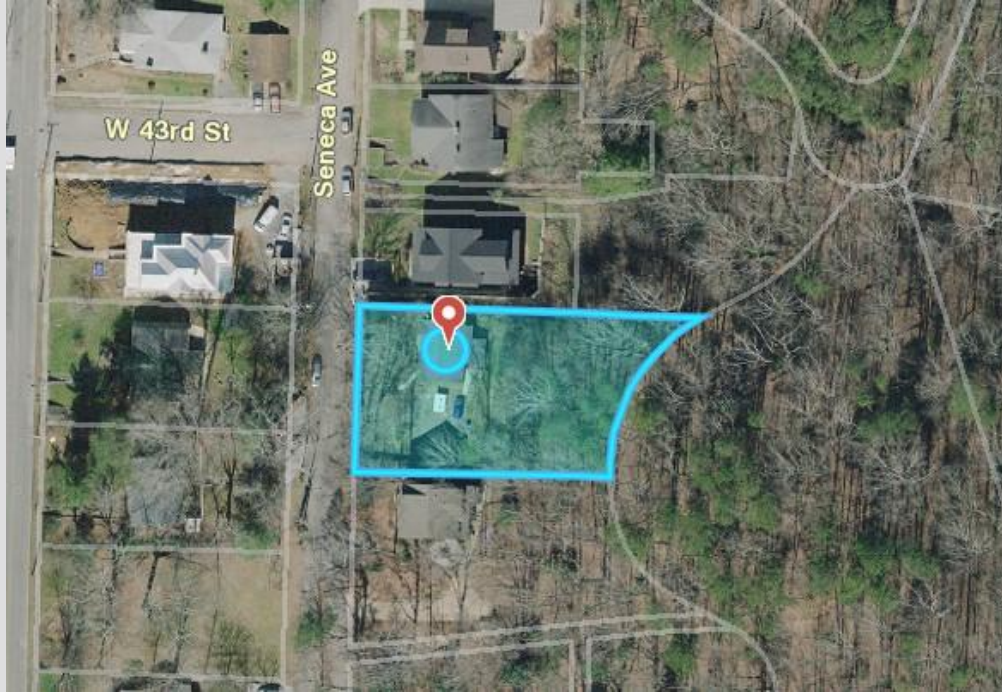
HZ-13-150: Extend deck

HZ-17-104: Fence

Map Location

Case # HZ-24-72

4302 Seneca Ave.



Property Photos

Case # HZ-24-72
4302 Seneca Ave.



Property Photos

Case # HZ-24-72
4302 Seneca Ave.



Property Photos

Case # HZ-24-72
4302 Seneca Ave.



Neighboring Property Photos

Case # HZ-24-72
4302 Seneca Ave.



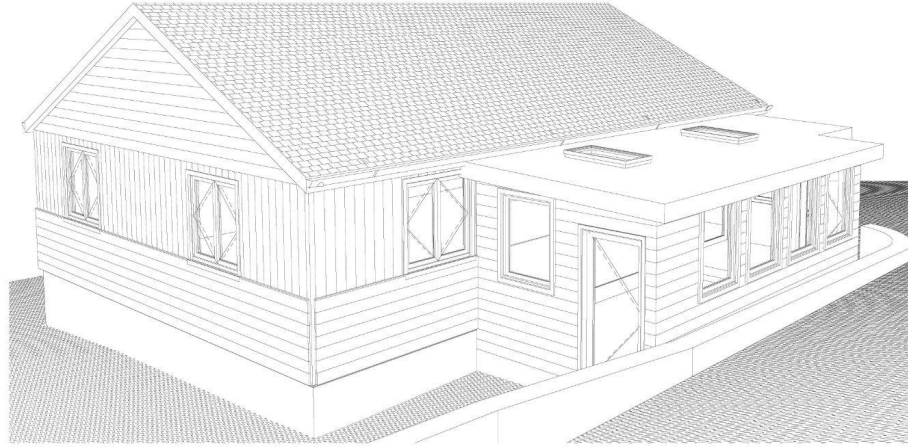
Neighboring Property Photos

Case # HZ-24-72
4302 Seneca Ave.



Application Information

Case # HZ-24-72
4302 Seneca Ave.



HISTORIC ZONING SUBMITTAL, 4302 SENECA AVE. CHATTANOOGA TENNESSEE.

HOMEOWNERS: BLAKE CASH AND ERYNN WHEATLEY.

SUMMARY OF WORK: REMOVAL OF DECAYING SHED COVERINGS AT REAR OF HOUSE.
REMOVAL OF IRREGULAR PAVING AT REAR OF HOUSE.
REMOVAL OF DECAYING STAIRCASE AT FRONT OF HOUSE.
CONSTRUCTION OF ENCLOSED THREE SEASON PORCH AT REAR OF HOUSE.
CONSTRUCTION OF ELEVATED OPEN DECK AT FRONT OF HOUSE.

REASON FOR WORK: REAR ADDITION. REMOVAL OF SUBSTANDARD AND DECAYING COVERINGS.
PROVIDE FLEXIBLE ADDITIONAL LIVING SPACE FOR EXERCISE, ENTERTAINMENT AND ACCESS.

REASON FOR WORK, FRONT DECK. REMOVAL OF ROTTING STAIR AND RAILING.
IMPROVE ACCESS, PROVIDE SITTING SPACE WHERE VIEW OF LOOKOUT CAN BE ENJOYED.



2444 Broad Street
Chattanooga TN 37408
771-316-0099

Blake Cash and
Erynn Wheatley
Addition

4302 Seneca Ave Chattanooga
Tennessee 37409

Client Information

Blake Cash and Erynn Wheatley

4302 Seneca Ave. Chattanooga
Tennessee 37409

861-237-4257

Notes:

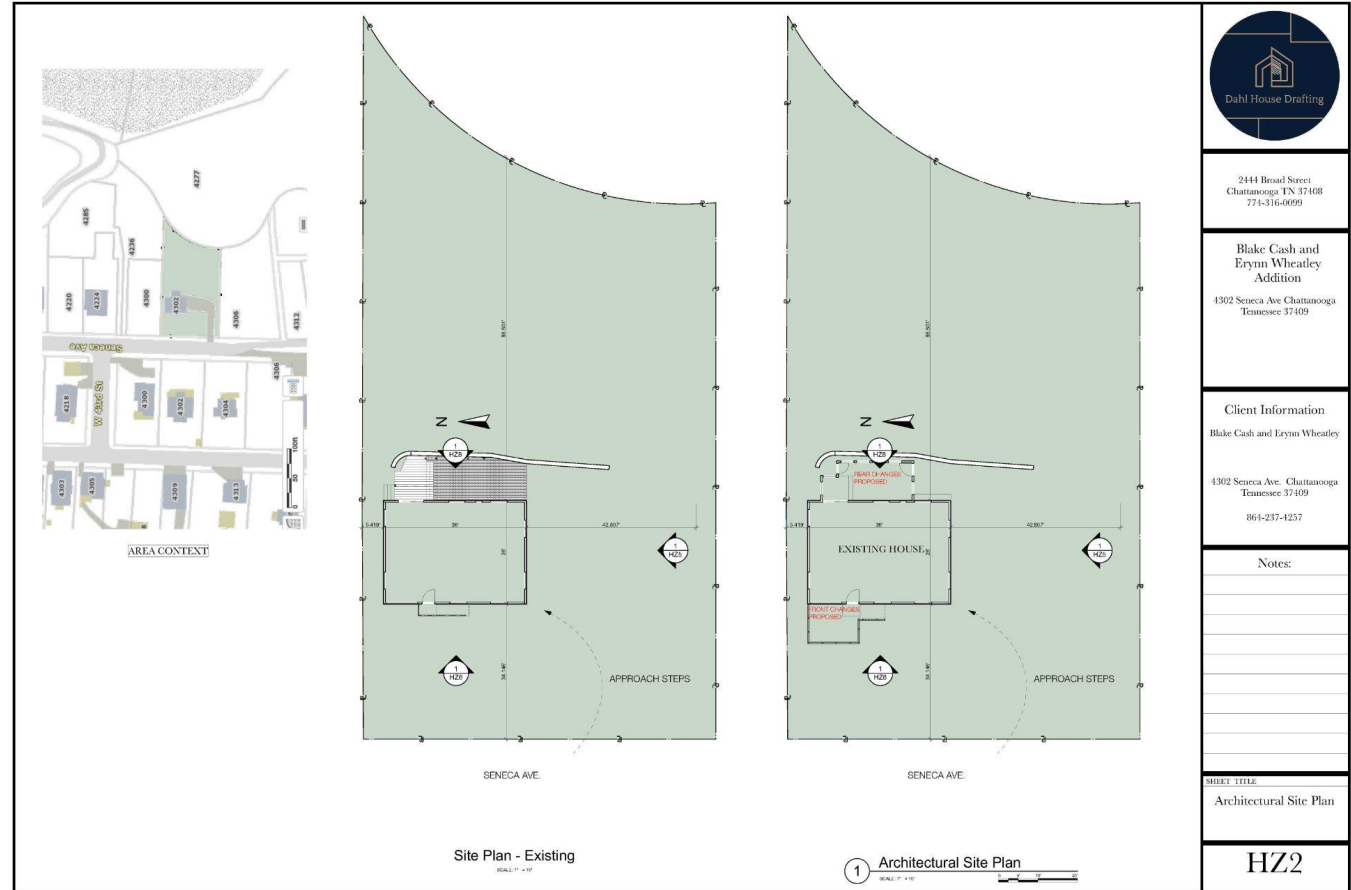
SHEET TITLE

Cover Sheet

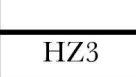
HZ1

Application Information

Case # HZ-24-72
4302 Seneca Ave.



Case # HZ-24-72
4302 Seneca Ave.



Case # HZ-24-72
4302 Seneca Ave.



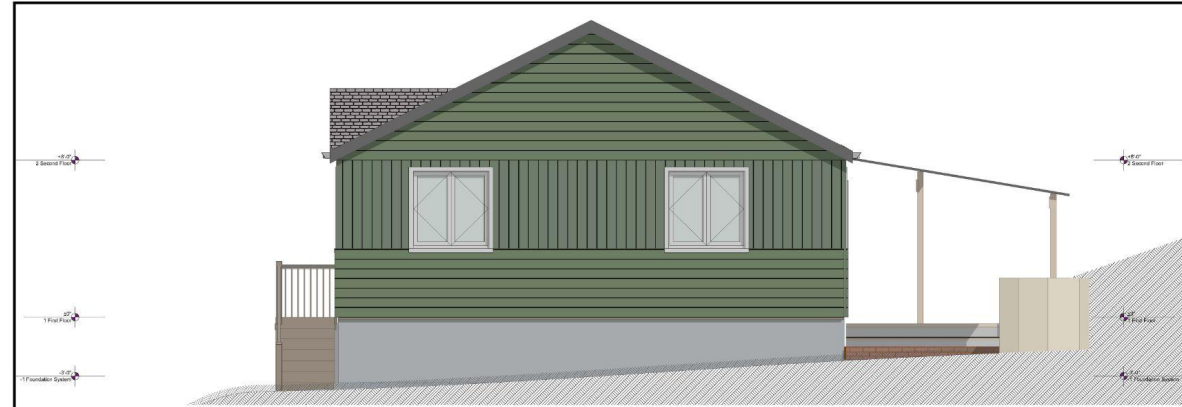
Application Information

Case # HZ-24-72
4302 Seneca Ave.



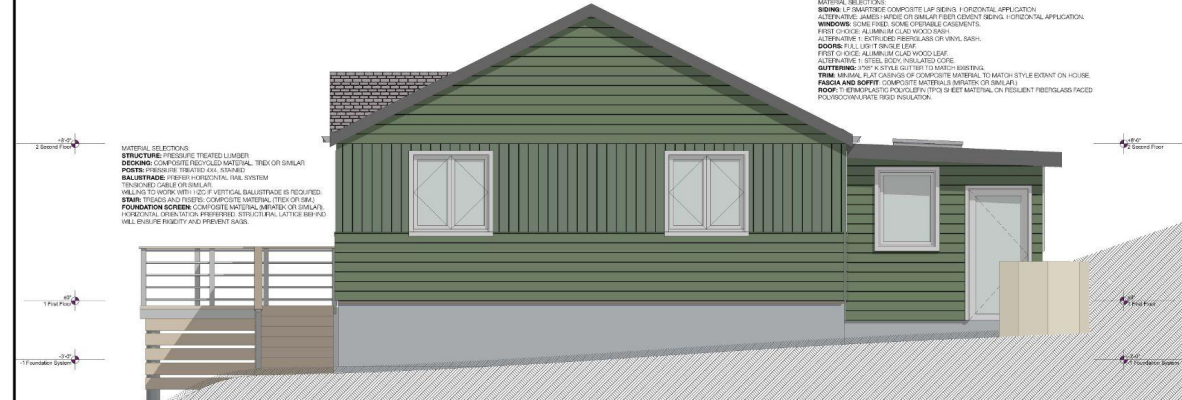
Application Information

Case # HZ-24-72
4302 Seneca Ave.



South (Driveway Side) Elevation Existing

SCALE: 1/8" = 1'-0"



1 South (Driveway Side) Elevation - Planned

SCALE: 1/8" = 1'-0"



2444 Broad Street
Chattanooga TN 37408
773-316-0099

Blake Cash and
Erynn Wheatley
Addition
4302 Seneca Ave Chattanooga
Tennessee 37409

Client Information
Blake Cash and Erynn Wheatley

4302 Seneca Ave. Chattanooga
Tennessee 37409
864-237-4257

Notes:

SHEET TITLE
Exterior Elevations

HZ5

Application Information

Case # HZ-24-72
4302 Seneca Ave.



2444 Broad Street
Chattanooga TN 37408
774-516-0099

Blake Cash and
Erynn Wheatley
Addition
4302 Seneca Ave Chattanooga
Tennessee 37409

Client Information
Blake Cash and Erynn Wheatley

4302 Seneca Ave. Chattanooga
Tennessee 37409
864-237-4257

Notes:

SHEET TITLE
Exterior Elevations

HZ7

Application Information

Case # HZ-24-72
4302 Seneca Ave.

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|  |  <p>Dahl House Drafting</p> | | | | | | | | |
| <p>East (Rear) Elevation - Existing</p> | | <p>2444 Broad Street Chattanooga TN 37408 773-316-0099</p> | | | | | | | |
| <p>SCALE: 1/8" = 1'-0"</p> | | <p>Blake Cash and Erynn Wheatley Addition 4302 Seneca Ave Chattanooga Tennessee 37409</p> | | | | | | | |
|  | | <p>Client Information Blake Cash and Erynn Wheatley 4302 Seneca Ave. Chattanooga Tennessee 37409 864-237-4257</p> | | | | | | | |
| <p>East (Rear) Elevation</p> | <p>NOTES:</p> <table border="1"><tr><td> </td></tr><tr><td> </td></tr><tr><td> </td></tr><tr><td> </td></tr><tr><td> </td></tr><tr><td> </td></tr><tr><td> </td></tr><tr><td> </td></tr></table> | | | | | | | | |
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| <p>SCALE: 1/8" = 1'-0"</p> | <p>SHEET TITLE</p> <p>Exterior Elevations</p> <p>HZ8</p> | | | | | | | | |

Application Information

Case # HZ-24-72
4302 Seneca Ave.



Existing Front Facade
SCALE: 1/8" = 1'-0"

PROPOSED CHANGES:
REMOVE DECAYING STAIR AND RAIL.
EXTEND NEW 13'X10' DECK OFF OF EXISTING PLINTH.
BUILD NEW STAIR AND RAILING.
PROPOSE HORIZONTAL RAILS IN KEEPING WITH STYLE AND AGE OF HOME.
SKIRTING AROUND PIER FOUNDATIONS.



Proposed Front Facade
SCALE: 1/8" = 1'-0"



2444 Broad Street
Chattanooga TN 37408
774-316-0099

Blake Cash and
Erynn Wheatley
Addition
4302 Seneca Ave Chattanooga
Tennessee 37409

Client Information
Blake Cash and Erynn Wheatley

4302 Seneca Ave. Chattanooga
Tennessee 37409
864-237-4257

Notes:

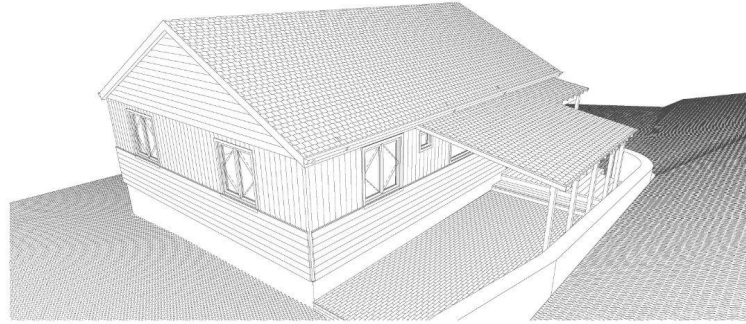
SHEET TITLE

Front Facade

HZ9

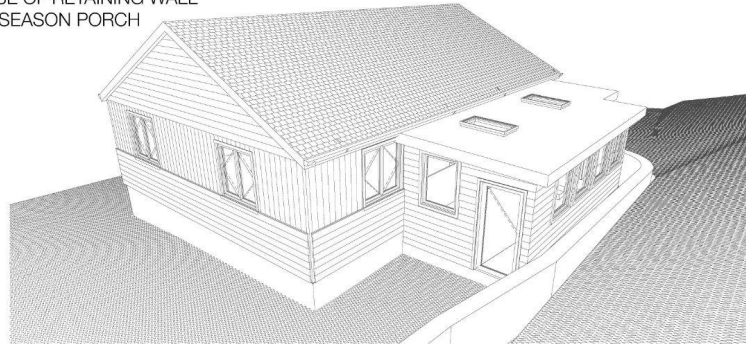
Application Information

Case # HZ-24-72
4302 Seneca Ave.



Existing Rear Porch

PROPOSED CHANGES:
REMOVE DECAYING SHED ROOF AND DECK
REMOVE UNEVEN PAVING AND 6"-8" OF EARTH BENEATH
ADD FRENCH DRAIN AT BASE OF RETAINING WALL
CONSTRUCT ENCLOSED 3 SEASON PORCH



Proposed Rear Porch



2444 Broad Street
Chattanooga TN 37408
771-316-6659

Blake Cash and
Erynn Wheatley
Addition
4302 Seneca Ave Chattanooga
Tennessee 37409

Client Information
Blake Cash and Erynn Wheatley

4302 Seneca Ave. Chattanooga
Tennessee 37409
861-237-4237

Notes:

SHEET TITLE

Rear Porch

HZ10

Application Information

Case # HZ-24-72

4302 Seneca Ave.

Precedent for Horizontal Decking on Seneca Ave

4205 Seneca (Note similar age of house - 1950)



4411 Seneca (Deck added in 2024)



Application Information

Case # HZ-24-72

4302 Seneca Ave.

Precedent for front decks in St. Elmo

5202 Tennessee Ave



5205 Alabama Ave



Material List

Case # HZ-24-72

4302 Seneca Ave.

MATERIAL SELECTIONS:

STRUCTURE: PRESSURE TREATED LUMBER

DECKING: COMPOSITE RECYCLED MATERIAL, TREX OR SIMILAR

POSTS: PRESSURE TREATED 4X4, STAINED

BALUSTRADE: PREFER HORIZONTAL RAIL SYSTEM

TENSIONED CABLE OR SIMILAR.

WILLING TO WORK WITH HZC IF VERTICAL BALUSTRADE IS REQUIRED.

STAIR: TREADS AND RISERS: COMPOSITE MATERIAL (TREX OR SIM.)

FOUNDATION SCREEN: COMPOSITE MATERIAL (MIRATEK OR SIMILAR).

HORIZONTAL ORIENTATION PREFERRED. STRUCTURAL LATTICE BEHIND

WILL ENSURE RIGIDITY AND PREVENT SAGS.



Note: Materials listed on renderings.

3 Seasons Porch Materials:

SIDING: LP SMARTSIDE COMPOSITE LAP SIDING.

HORIZONTAL APPLICATION ALTERNATIVE: JAMES HARDIE OR SIMILAR FIBER CEMENT SIDING. HORIZONTAL APPLICATION.

WINDOWS: SOME FIXED, SOME OPERABLE CASEMENTS.

FIRST CHOICE: ALUMINUM CLAD WOOD SASH.

ALTERNATIVE 1: EXTRUDED FIBERGLASS OR VINYL SASH.

DOORS: FULL LIGHT SINGLE LEAF.

FIRST CHOICE: ALUMINUM CLAD WOOD LEAF.

ALTERNATIVE 1: STEEL BODY, INSULATED CORE.

GUTTERING: 3"X5" K STYLE GUTTER TO MATCH EXISTING.

TRIM: MINIMAL FLAT CASINGS OF COMPOSITE MATERIAL TO MATCH STYLE EXTANT ON HOUSE.

FASCIA AND SOFFIT: COMPOSITE MATERIALS (MIRATEK OR SIMILAR.)

ROOF: THERMOPLASTIC POLYOLEFIN (TPO) SHEET MATERIAL ON RESILIENT FIBERGLASS FACED POLYISOCYANURATE RIGID INSULATION.

Front Deck Materials:

STRUCTURE: PRESSURE TREATED LUMBER DECKING: COMPOSITE RECYCLED MATERIAL TREX OR SIMILAR POSTS: PRESSURE TREATED 4X4

STAINED BALUSTRADE: PREFER HORIZONTAL RAIL SYSTEM TENSIONED CABLE OR SIMILAR. WILLING TO WORK WITH HZC IF VERTICAL BALUSTRADE IS REQUIRED.

STAIR: TREADS AND RISERS: COMPOSITE MATERIAL (TREX OR SIM.)

FOUNDATION SCREEN: COMPOSITE MATERIAL (MIRATEK OR SIMILAR). HORIZONTAL ORIENTATION PREFERRED. STRUCTURAL LATTICE BEHIND WILL ENSURE RIGIDITY AND PREVENT SAGS

Relevant Saint Elmo Guidelines:

Case # HZ-24-72, 4302 Seneca Ave.


6.1 Additions, Page 33

Staff Report

6.1. Additions (New Rooms)

Buildings must be able to adapt to the needs of each generation of occupants and this may include adding additional living space. In planning additions the best approach is to site additions where they will not be readily visible from the street, or where they will have the least effect on the building's overall form and plan. The rears of buildings are the best locations for the addition of rooms, wings, porches, or decks.

- A. Should be located at the rear of buildings, not on the front or readily visible areas of the sides of buildings. **Yes.**
- B. Should be secondary (smaller and simpler) than the original buildings in scale, design, and placement. **Yes.**
- C. Should be of a compatible design in keeping with the original building's design, roof shape, materials, color, and location of window, door, and cornice heights, etc. **The applicant is proposing a mostly flat roof on the addition. The existing dwelling has a gable roof and the rear porch that would be replaced has a shed roof.**
- D. Should not imitate an earlier historic style or architectural period. For example, a Victorian-era Queen Anne style rear porch addition would not be appropriate for a 1920s Craftsman/Bungalow house.
- E. Should appear distinguishable from the historic building, not an exact copy of it. Additions should be contemporary in design but compatible with the original building.
- F. Should be built in a manner that avoids extensive removal or loss of historic materials and which does not damage or destroy the main architectural features of the building. **The existing opens are shown to remain per the floor plan.**
- G. Should keep the exterior walls of the original building alone and use existing door and window openings for connecting the addition to the building.
- H. Should not be made through framing or glassing in the front porch or a prominent side porch.
- I. Additions should be made to the rear, not sides, of the house. **The proposed addition is at the rear. The porch construction is on the front facade of the dwelling. The proposed front porch addition shows a horizontal rail system.**

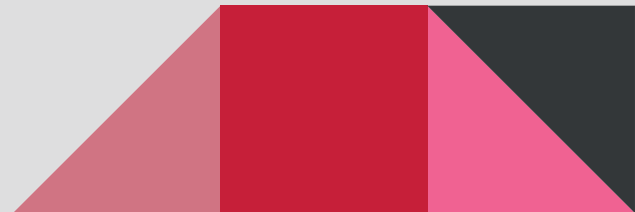


Case # HZ-24-72
4302 Seneca Ave.

Applicant Presentation (10 minutes maximum)

Case # HZ-24-72
4302 Seneca Ave.

Community Comments & Comments by Other Persons (3 minutes maximum per person)





Case # HZ-24-72
4302 Seneca Ave.

Applicant Response (5 minute maximum)

**Historic Zoning Commission Discussion
Motion and Vote**

Case # HZ-24-73

4905 Florida Avenue

Neighborhood: St. Elmo

Historic Structure: No, ca. 2017

Description of proposed project: Parking



Historic Zoning History:

HZ-15-11: New Construction

HZ-17-17: Fence

HZ-17-18: Rear Deck

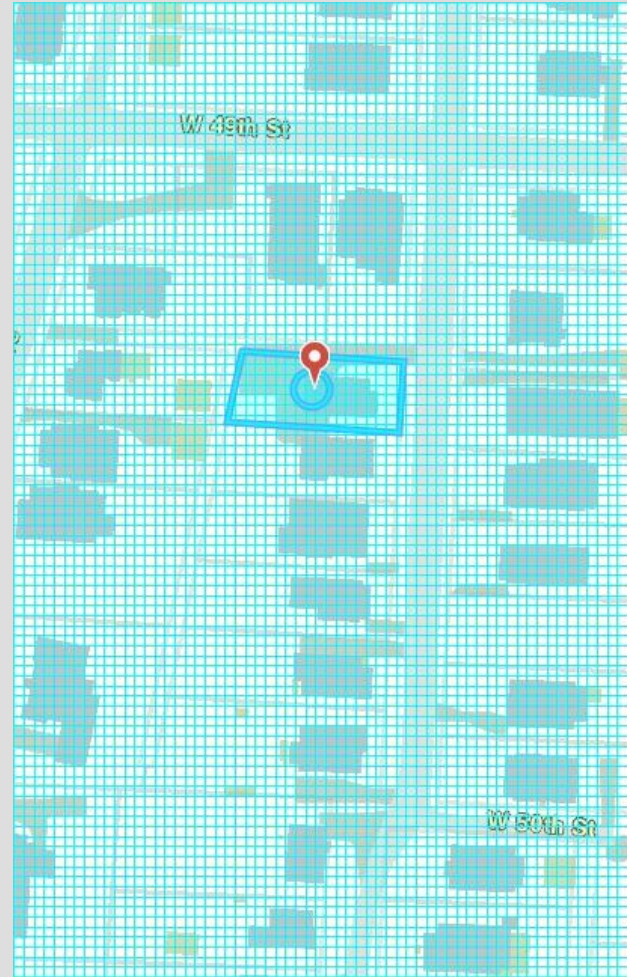
HZ-18-113: Garage, Site Improvements, Rear Door, Gutters

HZ-24-68: Fence + Railroad Tie Wall

Map Location

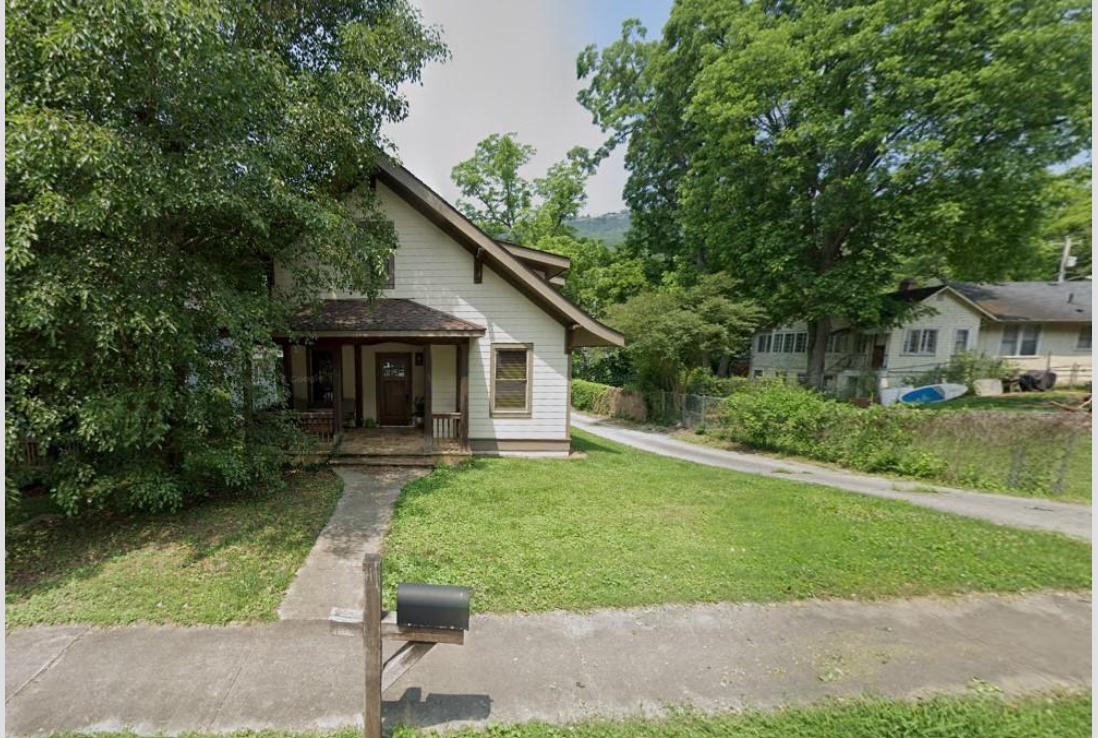
Case # HZ-24-73

4905 Florida Ave.



Property Photos

Case # HZ-24-73
4905 Florida Ave.



Property Photos

Case # HZ-24-73
4905 Florida Ave.



Property Photos

Case # HZ-24-73
4905 Florida Ave.



Neighboring Property Photos

Case # HZ-24-73
4905 Florida Ave.



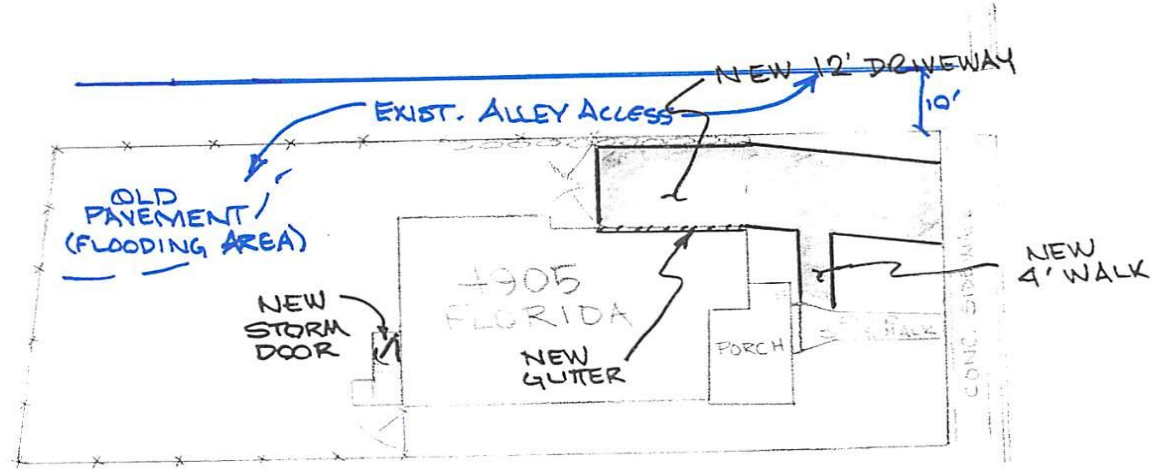
Neighboring Property Photos

Case # HZ-24-73
4905 Florida Ave.



Application Information

Case # HZ-24-73
4905 Florida Ave.



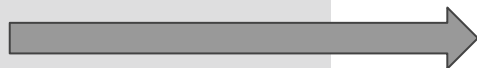
PROPOSED SITE PLAN
1" = 20' dtd 7.18.24
rev. 1 7.24.24

Florida Ave.

Material List

Case # HZ-24-73
4905 Florida Ave.

COA MATERIALS LIST
4905 FLORIDA AVENUE
DRIVEWAY PROJECT
ST. ELMO HISTORIC DISTRICT
CHATTANOOGA HISTORIC PLANNING AND ZONING COMMISSION
SUBMITTED 7.18.2024



1. GRAVEL OR CONCRETE DRIVEWAY (material tbd)
2. STEPPING STONE OR CONCRETE WALKWAY IN FRONT
3. GUTTER AND DOWNSPOUT
4. ALUMINUM FULL VIEW STORM DOOR AT BACK

Relevant Saint Elmo Guidelines:

Case # HZ-24-73, 4905 Florida Ave.

6.9 Driveways & Parking, Page 41

Staff Report

9. Driveways & Paving

Access to the buildings in St. Elmo is generally from rear alleys and new driveways for buildings should also be added at the rear of the lot. The popularity of the Craftsman/Bungalow style coincided with the rise in automobile ownership and many of these dwellings have side lot driveways and original garages. Within the district historic driveway materials such as concrete should be preserved and new driveways should be designed with traditional materials and placement.

A. And their original designs, materials, and placement should be preserved.


B. Which are new, should be located at the rear with access from the alley. **The proposed driveway and parking area are to the side of the dwelling immediately adjacent to an existing alley.**

C. In the front or side yards should be of gravel (white or pea gravel), concrete, or concrete tracks (narrow strips). Blacktop or asphalt driveways may be approved but this material is not traditional to the neighborhood and should be avoided. **The applicant has proposed concrete or gravel for the new driveway and parking area.**

D. Should have their parking areas located in the rear yard nearer the alley than the building and screened with hedges, shrubs, or fences where noticeable from the street. **The proposed driveway and parking area are to the side of the dwelling immediately adjacent to an existing alley.**

E. Of semi-circular design should not be sited in front yards.

F. Requiring new curb cuts to access driveways and parking lots should be kept to a minimum. The addition of curb cuts usually results in the removal of historic sidewalk materials, curbs, and retaining walls. Access through rear alleys is better than adding new curb cuts. Traditional paving materials for driveways include gravel and concrete which are more appropriate materials than aggregate or asphalt. Textured concrete designed to look like brick pavers is also an appropriate material.




Case # HZ-24-73
4905 Florida Ave.

Applicant Presentation (10 minutes maximum)

Case # HZ-24-73
4905 Florida Ave.

Community Comments & Comments by Other Persons (3 minutes maximum per person)





Case # HZ-24-73
4905 Florida Ave.

Applicant Response (5 minute maximum)

**Historic Zoning Commission Discussion
Motion and Vote**

Case # HZ-24-74

4910 Beulah Avenue

Neighborhood: St. Elmo

Historic Structure: Yes, ca. 1922

Description of proposed project: Addition



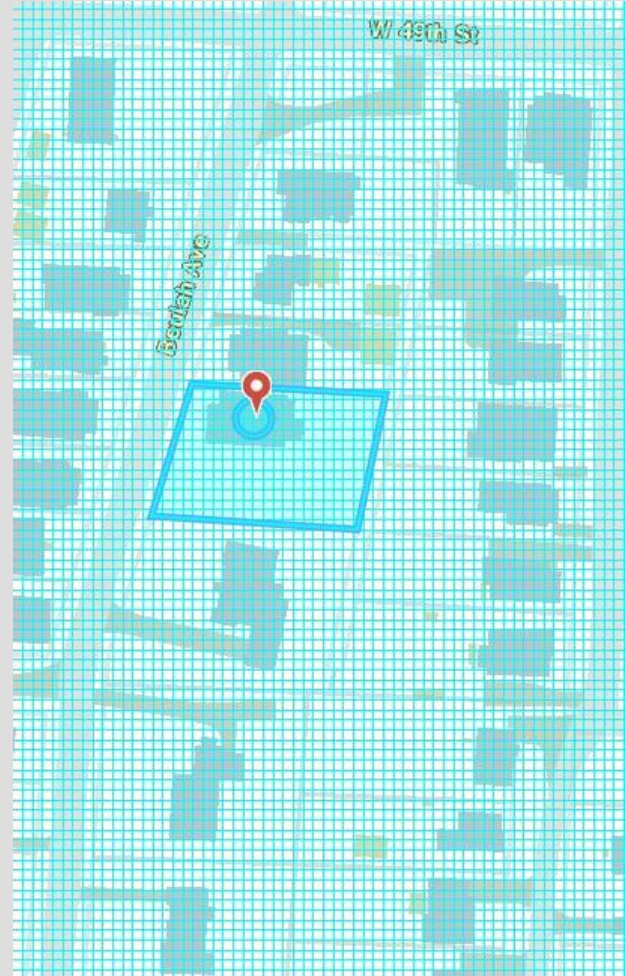
Historic Zoning History:

None

Map Location

Case # HZ-24-74

4910 Beulah Ave.



Property Photos

Case # HZ-24-74
4910 Beulah Ave.



Property Photos

Case # HZ-24-74
4910 Beulah Ave.



Property Photos

Case # HZ-24-74
4910 Beulah Ave.



Neighboring Property Photos

Case # HZ-24-74
4910 Beulah Ave.



Neighboring Property Photos

Case # HZ-24-74
4910 Beulah Ave.



Application Information

Case # HZ-24-74
4910 Beulah Ave.



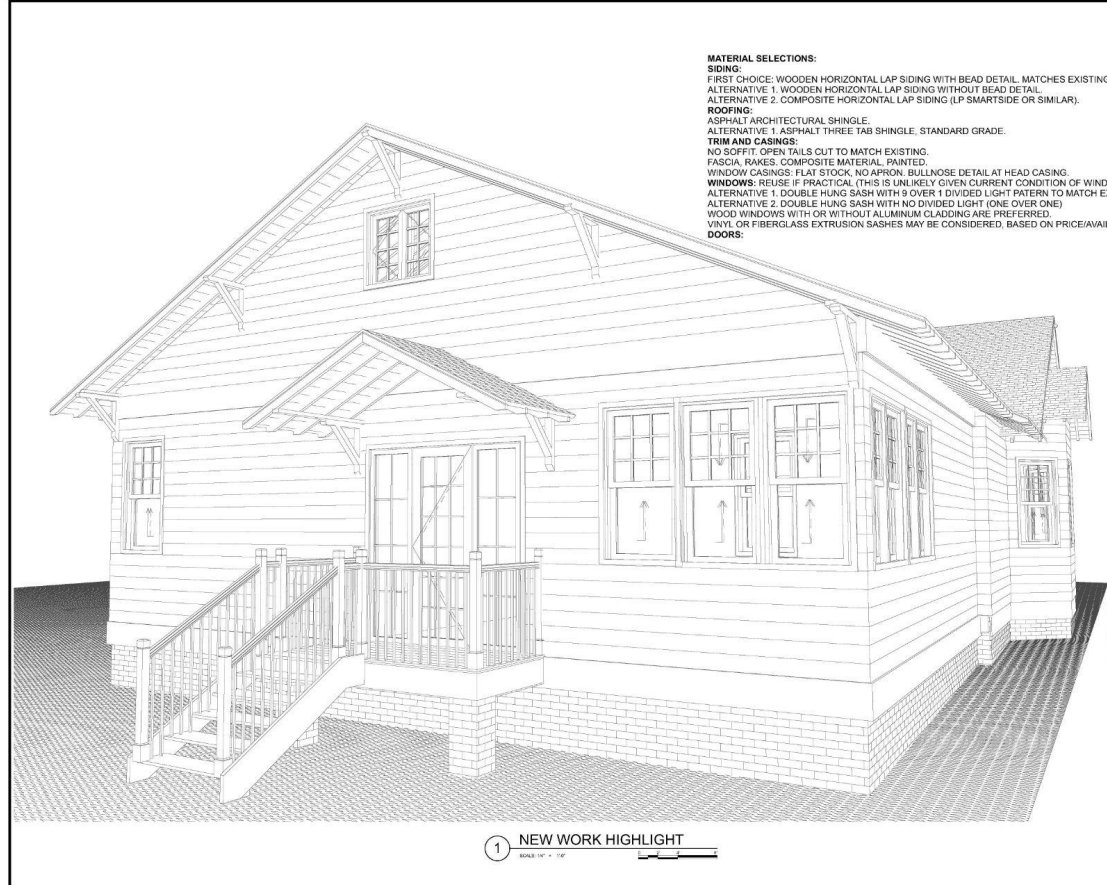
Application Information

Case # HZ-24-74
4910 Beulah Ave.



Application Information

Case # HZ-24-74
4910 Beulah Ave.



Dahl House Drafting
2444 Broad Street #210
Chattanooga, Tennessee

Phone: 774-316-0099

CREATED BY: JENNIFER MCKAY
ISSUED: Thursday, July 18, 2025

Kovatch Addition

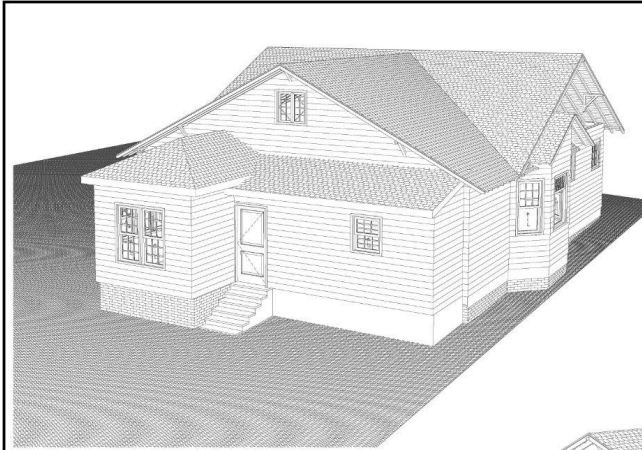
4910 Beulah Ave
Chattanooga Tennessee
37409

SHEET TITLE
Perspective Views

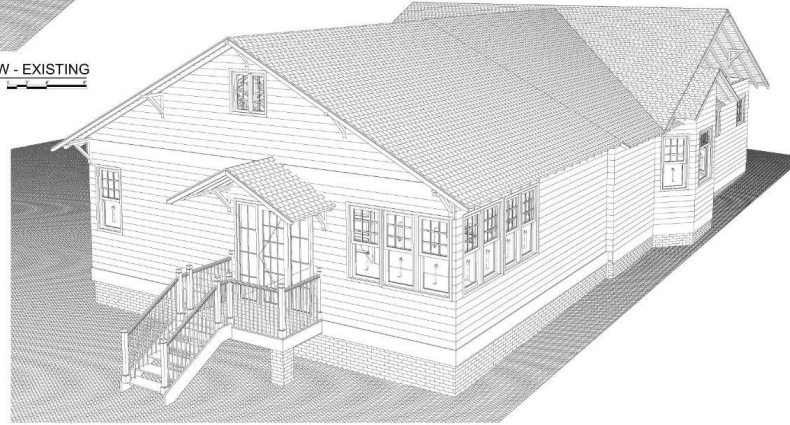
HZ10

Application Information

Case # HZ-24-74
4910 Beulah Ave.



1 REAR OVERVIEW - EXISTING
SCALE: 1/4" = 1'-0"



2 REAR OVERVIEW - PLANNED
SCALE: 1/4" = 1'-0"

MATERIAL SELECTIONS:

SIDING:

FIRST CHOICE: WOODEN HORIZONTAL LAP SIDING WITH BEAD DETAIL. MATCHES EXISTING HOUSE.

ALTERNATIVE 1: WOODEN HORIZONTAL LAP SIDING WITHOUT BEAD DETAIL.

ALTERNATIVE 2: COMPOSITE HORIZONTAL LAP SIDING (LP SMARTSIDE OR SIMILAR).

ROOFING:

ASPHALT ARCHITECTURAL SHINGLE.

ALTERNATIVE 1: ASPHALT THREE TAB SHINGLE, STANDARD GRADE.

TRIM AND CASINGS:

NO SOFFIT, OPEN TAILS CUT TO MATCH EXISTING.

FASCIA, FUNKIES, COMPOSITE MATERIAL, PAINTED.

WINDOW CASINGS: FLAT STOCK, NO APRON, BULLNOSE DETAIL AT HEAD CASING.

WINDOWS: REUSE IF PRACTICAL (THIS IS UNLIKELY GIVEN CURRENT CONDITION OF WINDOWS).

ALTERNATIVE 1: DOUBLE HUNG SASH WITH 8 OVER 1 DIVIDED LIGHT PATTERN TO MATCH EXISTING.

ALTERNATIVE 2: DOUBLE HUNG SASH WITH NO DIVIDED LIGHT (ONE OVER ONE)

WOOD WINDOWS WITH OR WITHOUT ALUMINUM CLADDING ARE PREFERRED.

VINYL OR FIBERGLASS EXTRUSION SASHES MAY BE CONSIDERED, BASED ON PRICE/AVAILABILITY.

DOORS:



Dahl House Drafting

2444 Broad Street #210

Chattanooga, Tennessee

Phone: 774-316-0099

DRAWN BY: Joseph Muzzari

ISSUED: Thursday, July 18, 2024

Kovatch Addition

4910 Beulah Ave
Chattanooga, Tennessee
37409

SHEET TITLE

Perspective Views

HZ9

Application Information

Case # HZ-24-74
4910 Beulah Ave.



Dahl House Drafting
2444 Broad Street #210
Chattanooga, Tennessee

Phone: 774-316-0099

DRAWN BY: Joseph Mott
ISSUED: Thursday, July 18, 2024

Kovatch Addition

4910 Beulah Ave
Chattanooga Tennessee
37409

SHEET TITLE
Sections

HZ8

Application Information

Case # HZ-24-74
4910 Beulah Ave.



① South Elevation - Existing



② South Elevation - Proposed

MATERIAL SELECTIONS:

SIDING:
FIRST CHOICE: WOODEN HORIZONTAL LAP SIDING WITH BEAD DETAIL, MATCHES EXISTING HOUSE.

ALTERNATIVE 1: WOODEN HORIZONTAL LAP SIDING WITHOUT BEAD DETAIL.

ALTERNATIVE 2: COMPOSITE HORIZONTAL LAP SIDING (LP SMARTSIDE OR SIMILAR).

ROOFING:

ASPHALT ARCHITECTURAL SHINGLE.

ALTERNATIVE 1: ASPHALT THREE TAB SHINGLE, STANDARD GRADE.

TRIM AND CASINGS:

NO SOFFIT. OPEN TAILS CUT TO MATCH EXISTING.

FASCIA, RAKES: COMPOSITE MATERIAL, PAINTED.

WINDOW CASINGS: FLAT STOCK, NO APRON, BULLNOSE DETAIL AT HEAD CASING.

WINDOWS: REUSE IF PRACTICAL (THIS IS UNLIKELY GIVEN CURRENT CONDITION OF WINDOWS).

ALTERNATIVE 1: DOUBLE HUNG SASH WITH 8 OVER 1 DIVIDED LIGHT PATTERN TO MATCH EXISTING.

ALTERNATIVE 2: DOUBLE HUNG SASH WITH NO DIVIDED LIGHT (ONE OVER ONE).

WOOD WINDOWS WITH OR WITHOUT ALUMINUM CLADDING ARE PREFERRED.

VINYL OR FIBERGLASS EXTRUSION SASHES MAY BE CONSIDERED, BASED ON PRICE/AVAILABILITY.

DOORS:



Dahl House Drafting

2444 Broad Street #210
Chattanooga, Tennessee

Phone: 774-316-0099

DRAWN BY: Joseph Matusz

ISSUED: Thursday, July 18, 2024

Kovatch Addition

4910 Beulah Ave
Chattanooga Tennessee
37409

SHEET TITLE

South Side Elevations

HZ7

Application Information

Case # HZ-24-74
4910 Beulah Ave.

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|  | |    | |
| | | | |
| <p>MATERIAL SELECTIONS: SIDING: FIRST CHOICE: WOODEN HORIZONTAL LAP SIDING WITH BEAD DETAIL. MATCHES EXISTING HOUSE. ALTERNATIVE 1: WOODEN HORIZONTAL LAP SIDING WITHOUT BEAD DETAIL. ALTERNATIVE 2: COMPOSITE HORIZONTAL LAP SIDING (LP SMARTSIDE OR SIMILAR). ROOFING: ASPHALT ARCHITECTURAL SHINGLE. ALTERNATIVE 1: ASPHALT THREE TAB SHINGLE, STANDARD GRADE. TRIM AND CASINGS: NO SOFFIT. OPEN TAILS CUT TO MATCH EXISTING. FASCIA, RAKES, COMPOSITE MATERIAL, PAINTED. WINDOW CASINGS: FLAT STOCK, NO APRON. BULLNOSE DETAIL AT HEAD CASING. WINDOWS: REUSE IF PRACTICAL (THIS IS UNLIKELY GIVEN CURRENT CONDITION OF WINDOWS) ALTERNATIVE 1: DOUBLE HUNG SASH WITH 9 OVER 1 DIVIDED LIGHT PATTERN TO MATCH EXISTING. ALTERNATIVE 2: DOUBLE HUNG SASH WITH NO DIVIDED LIGHT (ONE OVER ONE) WOOD WINDOWS WITH OR WITHOUT ALUMINUM CLADDING ARE PREFERRED. VINYL OR FIBERGLASS EXTRUSION SASHES MAY BE CONSIDERED, BASED ON PRICE/AVAILABILITY. DOORS:</p> | | <p>1 North Elevation - Existing SCALE 1/4" = 1'-0"</p>  | |
|  | |    | |
| <p>2 North Elevation - Proposed SCALE 1/4" = 1'-0"</p>  | | | |



Dahl House Drafting
2444 Broad Street #210
Chattanooga, Tennessee
Phone: 774-316-0099

DRAWN BY: Joseph Kincaid
DESIGNED: Thursday, July 18, 2025




Kovatch Addition
4910 Beulah Ave
Chattanooga Tennessee
37409

SHEET TITLE
North Side Elevations

HZ6

Application Information

Case # HZ-24-74
4910 Beulah Ave.

| | |
|--|--|
| <p>MATERIAL SELECTIONS:</p> <p>SIDING: FIRST CHOICE: WOODEN HORIZONTAL LAP SIDING WITH BEAD DETAIL, MATCHES EXISTING HOUSE. ALTERNATIVE 1: WOODEN HORIZONTAL LAP SIDING WITHOUT BEAD DETAIL. ALTERNATIVE 2: COMPOSITE HORIZONTAL LAP SIDING (LP SMARTSIDE OR SIMILAR).</p> <p>ROOFING: ASPHALT ARCHITECTURAL SHINGLE. ALTERNATIVE 1: ASPHALT THREE-TAB SHINGLE, STANDARD GRADE.</p> <p>TRIM AND CASINGS: NO SOFFIT, OPEN TAILS CUT TO MATCH EXISTING. FASCIA, RAKES: COMPOSITE MATERIAL, PAINTED. WINDOW CASINGS: FLAT STOCK, NO APRON, BULLNOSE DETAIL AT HEAD CASING.</p> <p>WINDOWS: REUSE IF PRACTICAL (THIS IS UNLIKELY GIVEN CURRENT CONDITION OF WINDOWS). ALTERNATIVE 1: DOUBLE HUNG SASH WITH 9 OVER 1 DIVIDED LIGHT PATTERN TO MATCH EXISTING. ALTERNATIVE 2: DOUBLE HUNG SASH WITH NO DIVIDED LIGHT (ONE OVER ONE). WOOD WINDOWS WITH OR WITHOUT ALUMINUM GLAZING ARE PREFERRED. VINYL OR FIBERGLASS EXTRUSION SASHES MAY BE CONSIDERED, BASED ON PRICE/AVAILABILITY.</p> <p>DOORS:</p> | <div data-bbox="1738 147 1874 289"></div> <div data-bbox="1738 305 1874 382"><p>Dahl House Drafting 2444 Broad Street #210 Chattanooga, Tennessee Phone: 774-316-0099</p></div> <div data-bbox="1738 387 1874 409"><p>DRAWN BY: Joseph Mancini REVIEWED: Thursday, July 18, 2025</p></div> <div data-bbox="1738 502 1874 589"><p>Kovatch Addition 4910 Beulah Ave Chattanooga Tennessee 37409</p></div> <div data-bbox="1738 922 1874 960"><p>SHEET TITLE Rear Elevations</p></div> <div data-bbox="1738 988 1874 1026"><p>HZ5</p></div> |
| <p>1 Rear Elevation - Existing SCALE 1/8" = 1'-0"</p>  | |
| <p>2 Rear (West) Elevation - Proposed SCALE 1/8" = 1'-0"</p>  | |

Application Information

Case # HZ-24-74
4910 Beulah Ave.



① Front (Beulah Side) Elevation
SCALE: 1/4" = 1'-0"

NO CHANGES PROPOSED TO, OR VISIBLE FROM, THIS ELEVATION.
POSSIBLE REPAINTING AND TOUCH UP REPAIR MAY BE INVOLVED IN THE PROJECT OVERALL.



Dahl House Drafting
2444 Broad Street #210
Chattanooga, Tennessee

Phone: 774-316-0099

DRAWN BY: Joseph Mims
REVISED: Thursday, July 18, 2025

Kovatch Addition

4910 Beulah Ave
Chattanooga Tennessee
37409

SHEET TITLE
Beulah Side Elevations

HZ4

Application Information

Case # HZ-24-74

4910 Beulah Ave.

HISTORIC ZONING SUBMITTAL, 4910 BEULAH AVE. CHATTANOOGA, TENNESSEE.

HOMEOWNER: STEPHEN KOVATCH

SUMMARY OF WORK: INSTALLATION OF DRAINAGE IN REAR YARD.

REMOVAL OF TWO EXISTING, DECAYING REAR ADDITIONS.

REPAIR OF REAR FACADE AND ROOF EAVES.

CONSTRUCTION OF NEW ADDITION AT REAR OF HOUSE.

REASON FOR WORK: ADDING AMENITY, IMPROVING FUNCTION AND FLOW OF HOME.

SPECIFICALLY, CREATING FUNCTIONAL LAUNDRY ROOM, ADDING ADDITIONAL BATHROOM. IMPROVING KITCHEN.

ADDITIONAL REASON FOR WORK: STRUCTURALLY AND AESTHETICALLY REPAIRING REAR OF HOUSE, WHICH HAS DEGRADED.

Material List

Case # HZ-24-74
4910 Beulah Ave.

MATERIAL SELECTIONS:

SIDING:

FIRST CHOICE: WOODEN HORIZONTAL LAP SIDING WITH BEAD DETAIL. MATCHES EXISTING HOUSE.

ALTERNATIVE 1. WOODEN HORIZONTAL LAP SIDING WITHOUT BEAD DETAIL.

ALTERNATIVE 2. COMPOSITE HORIZONTAL LAP SIDING (LP SMARTSIDE OR SIMILAR).

ROOFING:

ASPHALT ARCHITECTURAL SHINGLE.

ALTERNATIVE 1. ASPHALT THREE TAB SHINGLE, STANDARD GRADE.

TRIM AND CASINGS:

NO SOFFIT. OPEN TAILS CUT TO MATCH EXISTING.

FASCIA, RAKES. COMPOSITE MATERIAL, PAINTED.

WINDOW CASINGS: FLAT STOCK, NO APRON. BULLNOSE DETAIL AT HEAD CASING.

WINDOWS: REUSE IF PRACTICAL (THIS IS UNLIKELY GIVEN CURRENT CONDITION OF WINDOWS)

ALTERNATIVE 1. DOUBLE HUNG SASH WITH 9 OVER 1 DIVIDED LIGHT PATTERN TO MATCH EXISTING.

ALTERNATIVE 2. DOUBLE HUNG SASH WITH NO DIVIDED LIGHT (ONE OVER ONE)

WOOD WINDOWS WITH OR WITHOUT ALUMINUM CLADDING ARE PREFERRED.

VINYL OR FIBERGLASS EXTRUSION SASHES MAY BE CONSIDERED, BASED ON PRICE/AVAILABILITY.

DOORS:

Relevant Saint Elmo Guidelines:

Case # HZ-24-74, 4910 Beulah Ave.


6.1 Additions, Page 33

Staff Report

6.1. Additions (New Rooms)

Buildings must be able to adapt to the needs of each generation of occupants and this may include adding additional living space. In planning additions the best approach is to site additions where they will not be readily visible from the street, or where they will have the least effect on the building's overall form and plan. The rears of buildings are the best locations for the addition of rooms, wings, porches, or decks.

- A. Should be located at the rear of buildings, not on the front or readily visible areas of the sides of buildings. **Yes.**
- B. Should be secondary (smaller and simpler) than the original buildings in scale, design, and placement. **The proposed addition is 768 square feet. The current dwelling is approximately 1,450 square feet.**
- C. Should be of a compatible design in keeping with the original building's design, roof shape, materials, color, and location of window, door, and cornice heights, etc. **Yes, the design of the addition follows the existing roof line and the original buildings shape, materials, etc. The applicant has a note to reuse the existing windows. This is preferred. Applicant to confirm dimensions and materials of proposed rear porch and stairs.**
- D. Should not imitate an earlier historic style or architectural period. For example, a Victorian-era Queen Anne style rear porch addition would not be appropriate for a 1920s Craftsman/Bungalow house.
- E. Should appear distinguishable from the historic building, not an exact copy of it. Additions should be contemporary in design but compatible with the original building.
- F. Should be built in a manner that avoids extensive removal or loss of historic materials and which does not damage or destroy the main architectural features of the building. **The applicant is proposing to remove the historic windows and openings on the side and rear.**
- G. Should keep the exterior walls of the original building alone and use existing door and window openings for connecting the addition to the building. **Applicant to confirm if any openings are to remain as is. The site plan reads that the openings will be changed.**
- H. Should not be made through framing or glassing in the front porch or a prominent side porch.
- I. Additions should be made to the rear, not sides, of the house. **The proposed addition is at the rear.**




Case # HZ-24-74
4910 Beulah Ave.

Applicant Presentation (10 minutes maximum)

Case # HZ-24-74
4910 Beulah Ave.

Community Comments & Comments by Other Persons (3 minutes maximum per person)





Case # HZ-24-74
4910 Beulah Ave.

Applicant Response (5 minute maximum)

**Historic Zoning Commission Discussion
Motion and Vote**



Staff Updates:

- Neighborhood Meetings Coming Up in Late September

Final Information:

A **Certificate of Appropriateness** will be issued for approved projects within a week of the hearing.

Next meeting date: September 19, 2024 (Application Deadline, August 16, 2024 by 4 p.m.)

If your case is deferred **OR** if you have conditional items to bring back before the Commission, you **MUST** contact staff and ask to be added to the agenda for that meeting. You will **NOT** automatically be added to the agenda.



Other Business

Preservation Design Partnership



Adjourn

Motion and Vote