

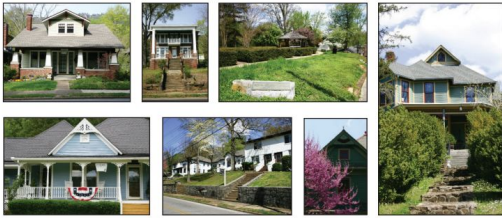
Historic Zoning Commission

July 17, 2025



St. Elmo

Historic District Guidelines



Fort Wood

Historic District Guidelines



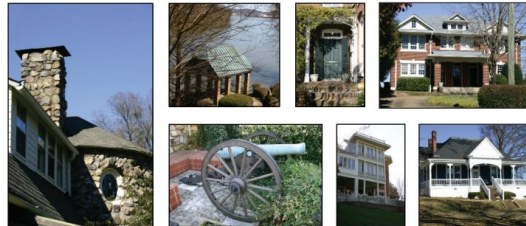
Ferber Place

Historic District Guidelines



Battery Place

Historic District Guidelines



Rules of Procedure

The order of business for hearing will be as follows:

1. **Staff Presentation**
 - a. Application description of proposed project
 - b. Note if the site/structure is historic and/or listed as contributing to the character of the district.
 - c. Location of proposed project
 - d. Explanation of proposed project
 - e. Project photographs and plans
2. **Applicant Presentation** (10 minutes maximum)
3. **Comments by Other Persons** (limited to 5 minutes)
 - a. Opponents, proponents, and other
4. **Applicant Response** (5 minute maximum)
5. **Historic Zoning Commission Discussion**
6. **Motion and Vote**

A Certificate of Appropriateness will be issued within a week of the hearing.

If you defer your case OR if you have conditional items to bring back before the Commission, you **MUST** contact staff and ask to be added to the agenda for that meeting. You will NOT automatically be added to the agenda.

Please note that this meeting is being recorded.

Additional Rules of Procedure

- **Swearing In & Sign In:** If you plan to speak you must be sworn in and sign in at the podium.
- **Laser Pointer:** Use the laser pointer to indicate what areas you are modifying when presenting.
- **Applicant Deferring Case:** If you would like to defer your case to be heard at a later date, a deferral must be requested by the applicant prior to the statement of the case's motion.
 - The application must be updated (in its entirety) by the applicant and submitted one week after the meeting date.
- **Exiting During the Meeting:** If you leave the meeting, please wait until exiting to wooden doors to speak.
- **COA Information:**
 - All construction work must meet the Certificate of Appropriateness (COA) and Design Guidelines as approved by the Chattanooga Historic Zoning Commission or CHZC Staff. If plans change, a new application will be required. If work is not started within 6 months of issue date, a new COA will need to be issued.
 - A COA is NOT a building permit or a land disturbing permit. Please contact the Land Disturbing Office or the Building Permit Office prior to starting the project.
 - The COA must be posted in a visible location or on file on the property until the project is completed.

Agenda

1. Roll Call
2. Swearing In
3. Rules of Procedure. Order of Business
4. Approve Minutes of Prior Meetings
6. Old Business:

None

7. New Business:

- a. Listing of Staff Reviews
- b. Commission Cases to review

- I. HZ-25-43: 900 Oak St.: Demolish Retaining Walls, Construct New Retaining Walls
- II. HZ-25-48: 5121 Alabama Ave.: Exterior Rehabilitation (Windows, Front Porch)
- III. HZ-25-54: 203 Eveningside Dr.: New Openings, Deck Railing, Material Change
- IV. ~~HZ-25-64: 4610 Florida Ave.: Shed~~ **Deferred to August, Did Not Post Sign**
- V. HZ-25-67: 5406 Virginia Ave.: Shed
- VI. HZ-25-70: 4199 Tennessee Ave.: Shed
- VII. HZ-25-73: 4317 St. Elmo Ave.: Siding

8. Other Business: Commission Elections

9. Announcements: Next meeting date: August 21, 2025 (application deadline – July 18, 2025 at 4 p.m.)

10. Adjourn

Staff Reviews

- I. HZ-25-59: 1449 W. 55th St.: Siding, Awning, Roof
- II. HZ-25-60: 5411 Virginia Ave.: Repaving Existing Driveway
- III. HZ-25-62: 108 Eveningside Dr.: Fascia, Soffit, Column Repair
- IV. HZ-25-63: 1609 W. 53rd St.: Fence
- V. HZ-25-65: 849 Vine St.: Roof, Gutters
- VI. HZ-25-71: 4410 St. Elmo Ave.: Parking + Walkway Repaving
- VII. HZ-25-72: 932 Fort Wood St.: In-Kind Exterior Repairs
- VIII. HZ-25-74: 4621 Guild Trl: Roof
- IX. HZ-25-75: 4419 St. Elmo Ave.: Column Rehabilitation
- X. HZ-25-77: 4811 Alabama Ave.: Pool
- XI. HZ-25-78L 1618 W. 53rd St.: Awning



New Business

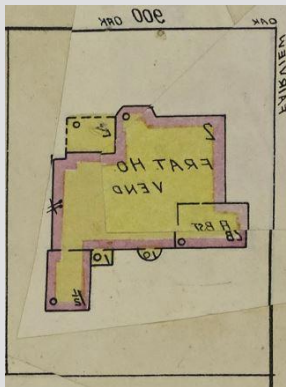
Case # HZ-25-43

900 Oak Street

Neighborhood: Fort Wood

Historic Structure: Yes, ca. 1910

Description of proposed project: Retaining Walls



Historic Zoning History:

HZ-23-140: Roof + Fascia Repair/Replacement

HZ-20-114: Mortar Repair, Rear Porch, Soffits

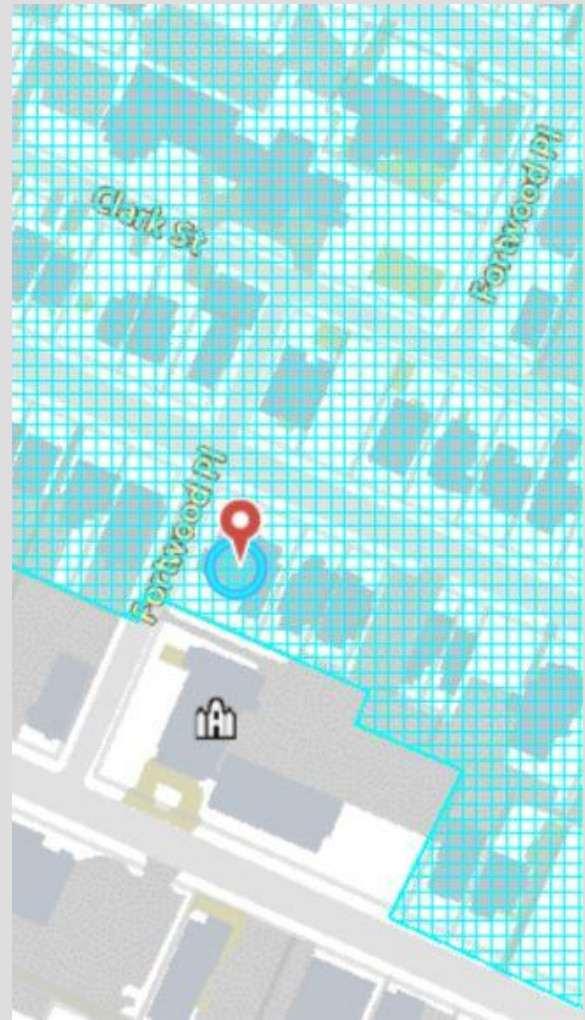
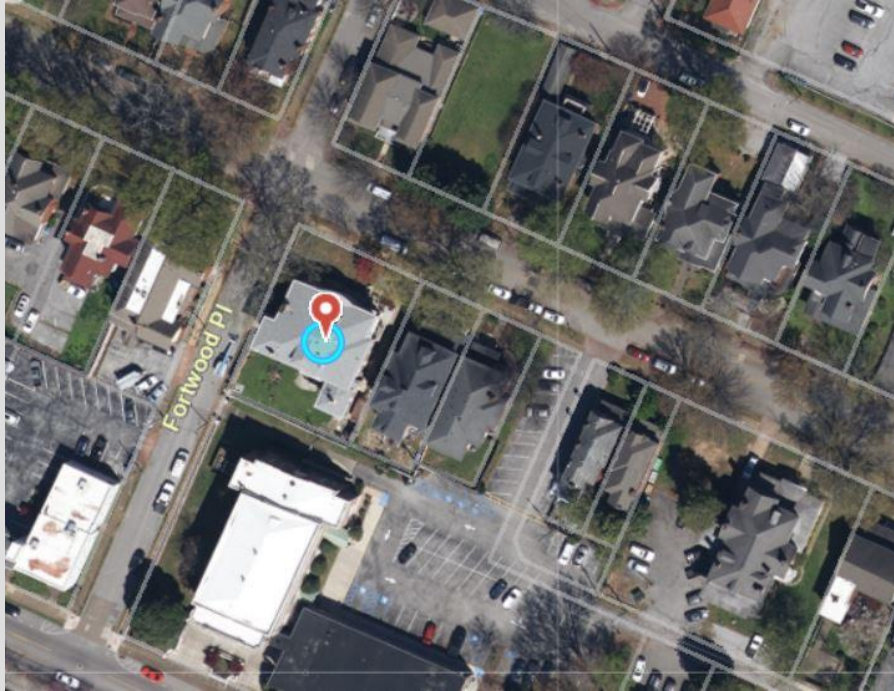
HZ-12-1: Install Glass Behind Upper Porch Columns, Repair Columns + Trim

HZ-09-79: Soffit Replacement

Map Location

Case # HZ-25-43

900 Oak St.



Property Photos

Case # HZ-25-43

900 Oak St.



Property Photos

Case # HZ-25-43
900 Oak St.



Property Photos

Case # HZ-25-43
900 Oak St.



Neighboring Property Photos

Case # HZ-25-43

900 Oak St.



Neighboring Property Photos

Case # HZ-25-43

900 Oak St.



Application Information

Case # HZ-25-43

900 Oak St.



SCALE: 1" = 20'

SITE PLAN

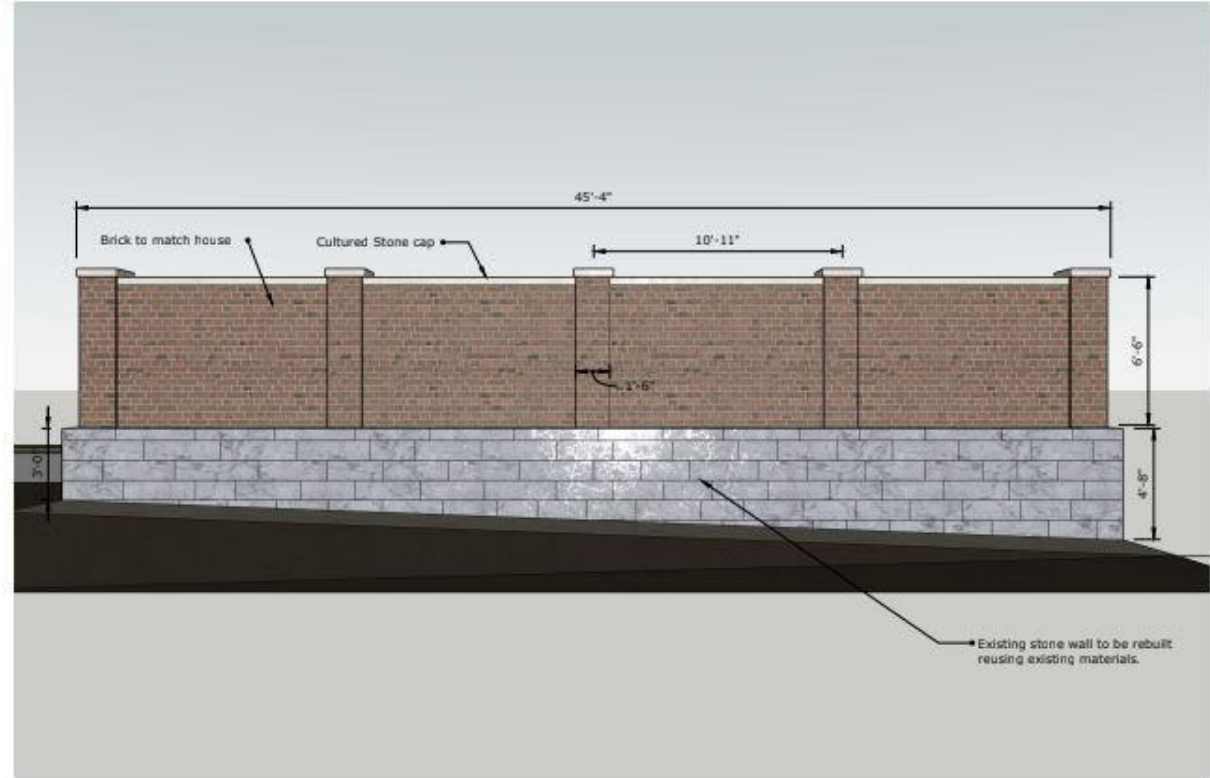
Date 6/24/25

Application Information

Case # HZ-25-43

900 Oak St.

900 Oak St Rear retaining wall



ELEVATION ALONG FORTWOOD PL.

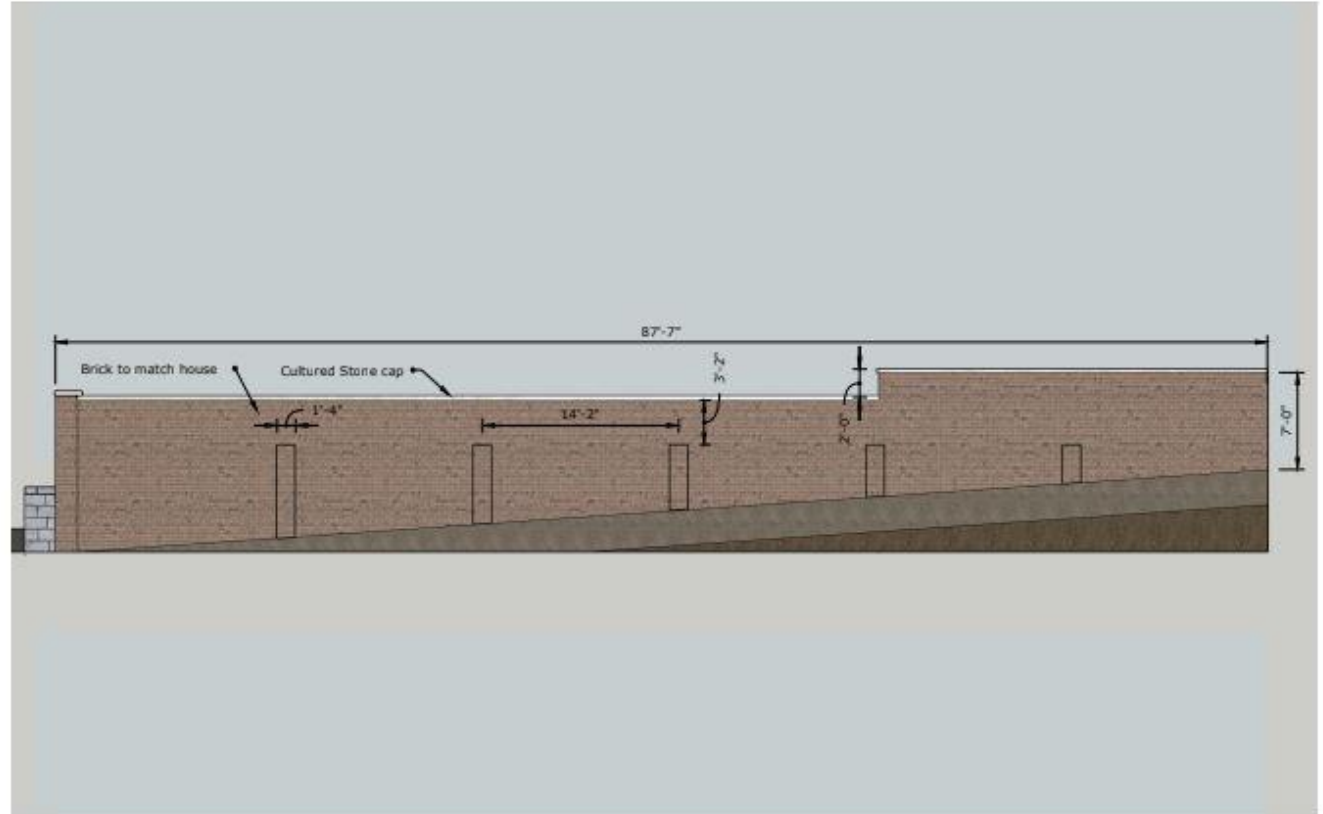
Date: June 25, 2025

Application Information

Case # HZ-25-43

900 Oak St.

900 Oak St Rear retaining wall



SOUTH ELEVATION

Date: June 25, 2025

Application Information

Case # HZ-25-43

900 Oak St.

900 Oak St Project Narrative

June 25, 2025

Historic Zoning Commission
Chattanooga, TN

Here is a brief outline of the project being submitted.

The first phase involves removing the retaining wall at the rear yard along Fortwood Place. This will allow access with a manlift to expedite the restoration of exterior soffits and trim work.

Once the exterior soffit and trim work is completed, the rear yard landscaping will be done while there's better access to the backyard.

Finally, the new retaining wall installation and the lower restored historic retaining wall will be completed.

During the construction process, we will take extra care to preserve the historic integrity of the site, ensuring that all restoration work aligns with the original architectural details. Additionally, we plan to mitigate any disruption to the surrounding environment by adhering to strict environmental and safety protocols.

Best Regards,

Nehemiah Jayne

Application Information

Case # HZ-25-43

900 Oak St.



Stephen H. Hendrix, P.E., LLC

Structural Engineering Services

556 Lake Hills Drive; Trenton, GA 30752
Phone (423) 667-5431
Email: shhpe0565@charter.net

Via E-Mail

June 25, 2025

Nehemiah Jayne

Email: nj@cwbuilder.com

RE: Structural Retaining Wall Evaluation
900 Oak Street; Chattanooga, TN
Project: # 2528

Attn: Please see the enclosed "Structural Evaluation and Consultation Contract" for limitations and conditions of this inspection and subsequent report. Acceptance and use of this letter convey acceptance of the terms of the "Structural Evaluation and Consultation Contract".

A structural evaluation has been made for a new exterior retaining wall for the subject property. There is an existing retaining wall located at the subject property. It is the opinion of Stephen H. Hendrix, P.E., LLC that the existing retaining wall is not structurally adequate and will need to be replaced with a new retaining wall in order to meet the desired Architectural concept of the owner. The new retaining wall is to be a reinforced concrete retaining wall. See the attached retaining wall drawing S-1 for notes and structural details regarding the retaining wall. The retaining wall is to be adjacent to proposed house structure at the address above.

It must be pointed out that this evaluation is *solely* of the exterior retaining wall as stated in the report. The new retaining wall details are based on the concept provided to this engineer by home owner.

Sincerely,

Stephen H. Hendrix, P.E.
Tennessee License # 16928

Enclosure: Invoice # 2528
Structural Evaluation and Consultation Contract
Drawing S-1
Retaining wall calculations

Relevant Fort Wood Guidelines:

Case # HZ-25-43, 900 Oak St.

3.5 Fences, Walls, and Walks, Pg. 29

Staff Report

Fences, Walls, and Walks

Perhaps the most common site feature in Fort Wood is the retaining wall. These retaining walls most often are made from limestone, but concrete and stucco, culled brick, and other types of stone also are used.

Front yards are consistently left open. The occasional wrought iron fence or low hedge maintains this feel. In the rear, however, fences and walls of a variety of materials and heights, including tall privacy fences, occur along the alleys.

Wall and fence materials frequently relate to materials used on the house on the site. Unique and expressive designs, often using a combination of materials, make fences and walls some of the most defining features of the district.

1. To keep front yards open, use at most a semi-transparent or low fencing material. Using solid masonry walls in the front which would visually enclose the property is not recommended.

2. Respect the existing condition of the majority of lots in the area when deciding whether or not to add a fence or wall.

3. Retain traditional fences, walls and hedges. When a portion of a fence or wall needs replacing, salvage original parts for a prominent location from a less prominent location if possible. Match the original in material, height, and detail. If this is not possible, use a simplified design of similar materials and height.

The applicant is proposing to rebuilding both retaining walls. The rear brick wall will be new materials (applicant to confirm) and the wall along Fort Wood Place will reuse the existing stone, but be in a new location.

4. The design of new fences and walls should blend with materials and designs found in the district and on the property. Commonly used materials are limestone, brick, concrete, and iron. Less common are wood and shrubbery hedges. The applicant is proposing to reuse some materials and rebuild the brick wall with new brick and a cultured stone cap.

5. The scale and level of ornateness of the design of any new walls and fences should relate to the scale and ornateness of the existing house. To be appropriate in most areas of the district, walls should be textured in some manner.


6. The height of the fence or wall should not exceed the average height of other fences and walls of surrounding properties and generally should not exceed 3.5 feet in the front or 6 feet in the rear. Both walls exceed 6' on the side and rear. The wall along Fort Wood Place will be 11' 2" and the rear wall will be 7'. Applicant to confirm existing height of walls.

7. Privacy fences are not appropriate in front yards; in rear yards, they can be used but materials and design should relate to the buildings on the site and to any nearby fences.

8. Use materials such as painted wood, brick, stone, stucco, or combinations of materials. Do not use materials such as chain-link fencing, concrete block walls, or landscaping timbers where they would be visible from the street or alley. The applicant is proposing stone and brick.

9. Retain existing historic paving materials used in walks, such as brick and concrete, as well as any decorative elements.

10. Use compatible materials and design in new walk construction.




Case # HZ-25-43
900 Oak St.

Applicant Presentation (10 minutes maximum)

Case # HZ-25-43
900 Oak St.

Community Comments & Comments by Other Persons
(3 minutes maximum per person)





Case # HZ-25-43
900 Oak St.

Applicant Response (5 minute maximum)

**Historic Zoning Commission Discussion
Motion and Vote**

Case # HZ-25-48

5121 Alabama Ave.

Neighborhood: St. Elmo

Historic Structure: Yes, ca. 1955

Description of proposed project: Exterior Rehabilitation + Front Deck



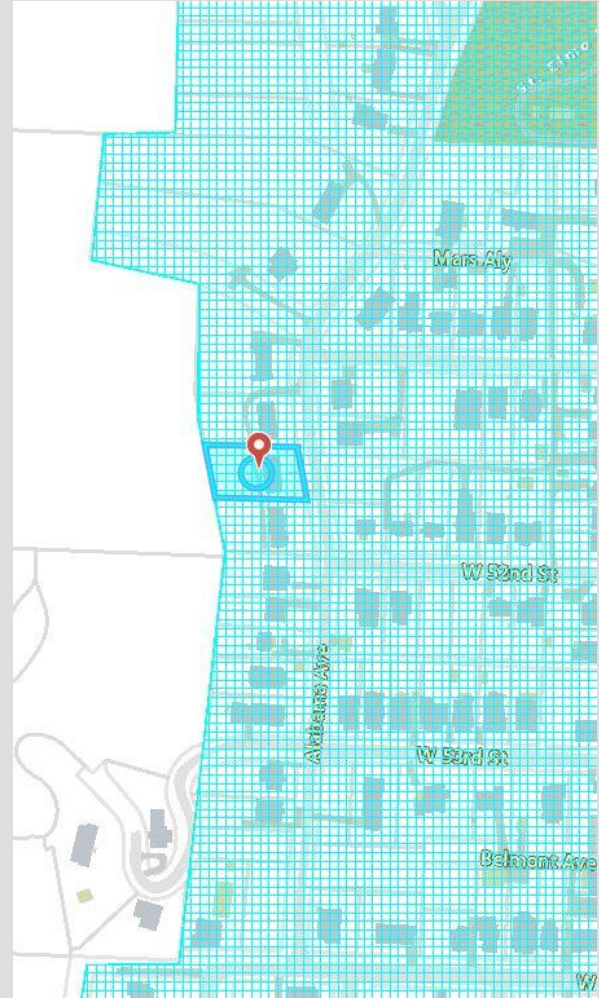
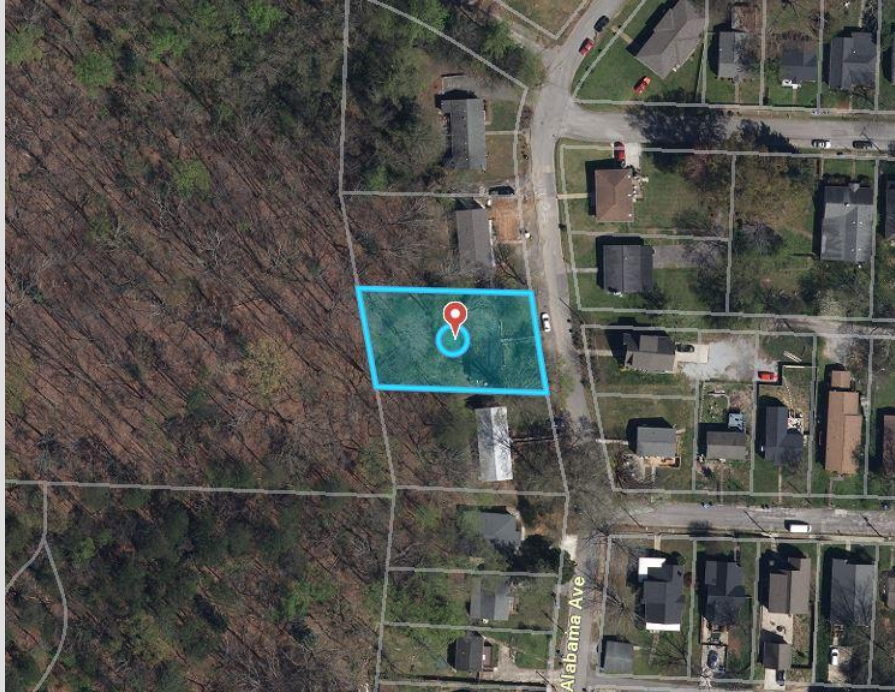
Historic Zoning History:

None

Map Location

Case # HZ-25-48

5121 Alabama Ave.



Property Photos

Case # HZ-25-48
5121 Alabama Ave.



Property Photos

Case # HZ-25-48
5121 Alabama Ave.



Property Photos

Case # HZ-25-48
5121 Alabama Ave.



Neighboring Property Photos

Case # HZ-25-48
5121 Alabama Ave.



Neighboring Property Photos

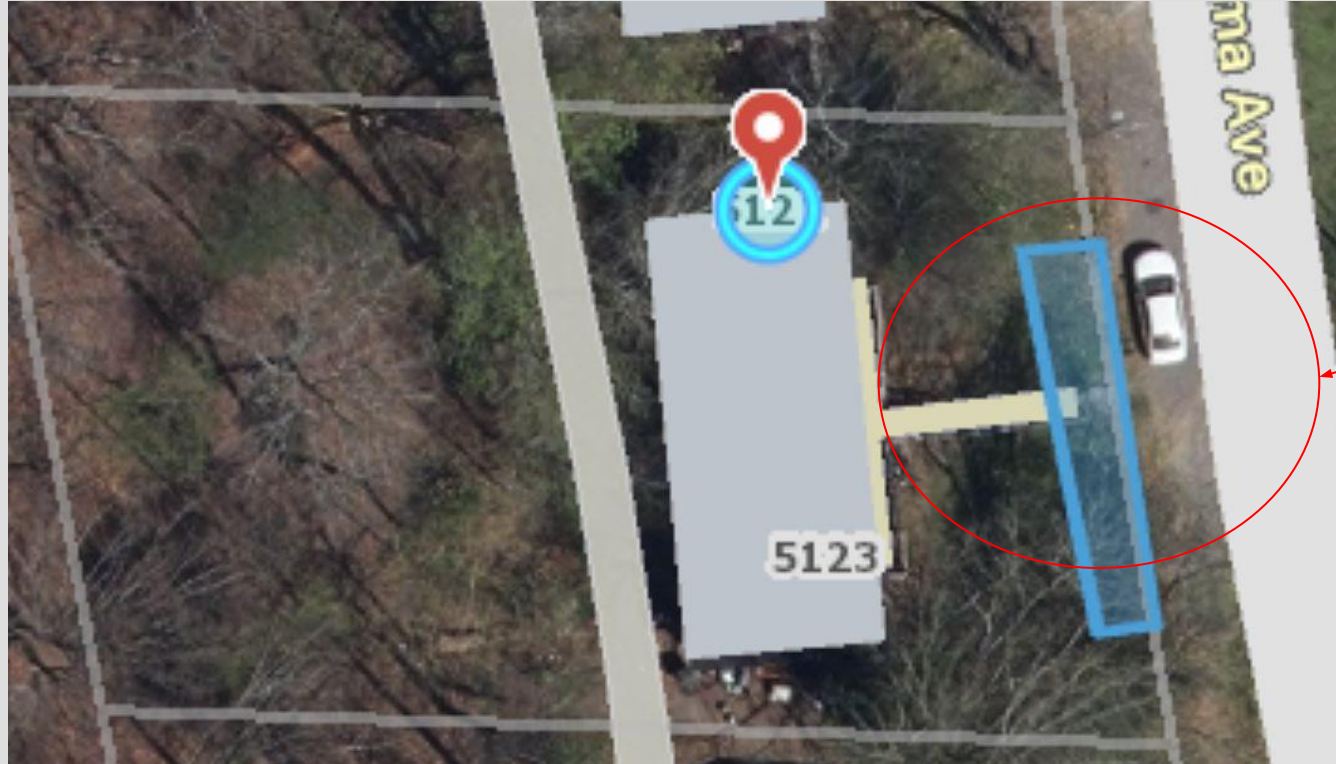
Case # HZ-25-48
5121 Alabama Ave.



Application Information

Case # HZ-25-48

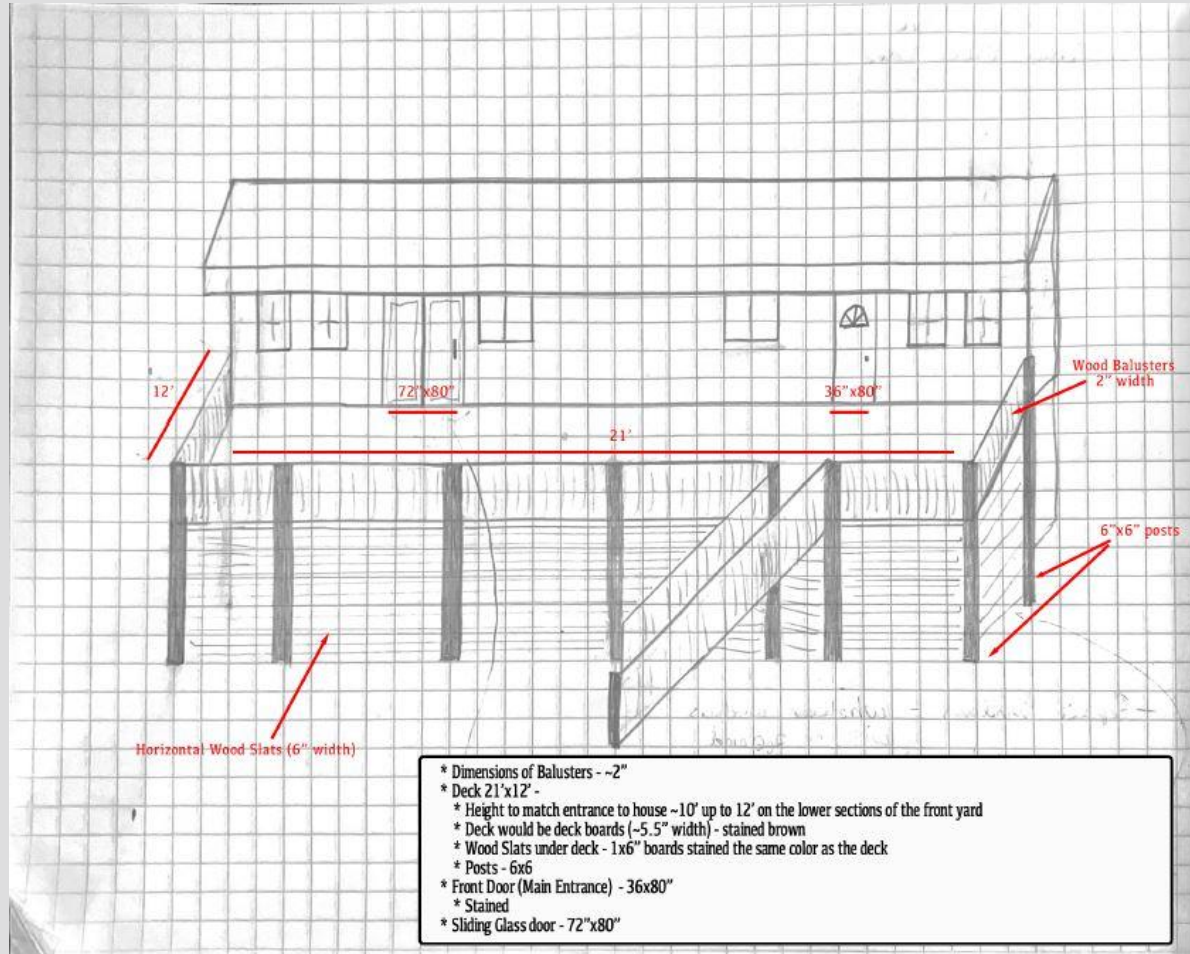
5121 Alabama Ave.



Proposed
Gravel Parking

Application Information

Case # HZ-25-48
5121 Alabama Ave.



Application Information

Case # HZ-25-48
5121 Alabama Ave.

Window Schedule			
Numbered Clockwise starting on the left side			
#	Original Size / Rough Opening	Type	Nearest Common Size
1	45 x 37	Double Hung	44 x 38
2	44 x 37	Double Hung	44 x 38
3	17 x 23.5	Double Hung	18 x 24
4	44 x 36	Double Hung	44 x 38
5	36 x 29.5	Double Hung	36 x 30
6	72 x 29 (2 windows)	Double Hung	2 x 36 x 30
7	60 x 36	Slider	60 x 36
8	34 x 28	Slider	36 x 30
9	44 x 37.5	Double Hung	44 x 38
10	42 x 35.5	Slider	42 x 36
11	41.5 x 36	Double Hung	42 x 36
12	86.5 x 42	Slider	84 x 42
13	72 x 39	Slider	72 x 40
14	72 x 30 (2 windows)	Double Hung	2 x 36 x 30
15	88.5 x 43 (2 windows)	Double Hung	2 x 44 x 42

Application Information

Case # HZ-25-48

5121 Alabama Ave. .

- Rebuild duplex to be single family home. Fully renovating the interior to have 2 bedrooms / 2 bath.
- Elimanate double stairs on front and build a ~12' deck stretching the full length of the house with railing and wooden balusters. Below the deck would be horizontal wood slats. Deck, railing, and slats to be stained.
- Delete the exterior door on the back left corner of the house and fill with matching brick.
- Paint full exterior white with and accent color.
- Switch out front left entrace door for a sliding double door.
- Replace all windows.
- Add gravel to existing off street parking

Relevant Saint Elmo Guidelines:

Case # HZ-25-48, 5121 Alabama Ave.

6.6 Decks, Page 38

6.8 Doors, Page 40

6.9 Driveways + Paving, Page 41

6.41 Windows, Page 74

Staff Report

6. Decks

Outdoor wood decks are popular additions and can usually work well with older buildings. As in the case of adding rooms, wood decks should be only built at the rear of buildings. Decks on the sides of buildings are also fine if they are not readily visible from the street. **The applicant is proposing a 12'x21' deck off the front of the existing dwelling.**

- A. Should be located at the rear of buildings. If built on the side of a building the deck should be screened from street view with fencing and/or native evergreen plants and shrubs. **No, the deck is proposed on the front of the dwelling. The applicant is proposing a 12'x21' deck with stairs and horizontal slats.**
- B. Should be stained or painted to match or blend with the colors of the building if readily visible from a street view.
- C. Should be simple rather than ornate in design. If readily visible from the street, wood decks are recommended to have square wood balusters set no more than three inches apart. Balusters should be no more than 2" in width and depth. **The applicant is proposing 2"x2" balusters. Applicant to confirm distance between balusters.**

Staff Report

Case # HZ-25-48, 5121 Alabama Ave.

8. Doors

Doors and door surrounds are important features in defining the style and character of a building. Original doors should be preserved and maintained and original features should be repaired rather than replaced. **Applicant is proposing to replace front door, install a sliding glass door on front facade, and fill in where existing back door exists with brick.**

- A. And/or their surrounds, sidelights, transoms, and detailing should not be removed or altered.
- B. New doors should not replace historic doors at the front entrance or at side entrances which are readily visible from the street.
- C. Of historic designs which are missing should be replaced with new doors appropriate for the style and period of the building. In replacing missing original doors, replacement doors should be similar in design to the original in style, materials, glazing (glass area) and lights (pane configuration). If the original design is unknown, a secondary entrance may contain an original door which can be moved to the main entrance. Salvage companies may also have historic doors available. **Applicant is proposing a new front door, but did not provide details. Applicant proposing installing a sliding glass door on the front facade.**
- D. Of solid six-panel or flush wood or steel design should be used only for rear entrances or side entrances which are not readily visible from the street.
- E. Of “decorator” designs available from wholesale hardware stores usually don’t work for front entrances. These doors are not similar enough to the historic door designs of St. Elmo buildings. Doors with fake leaded glass inset designs also don’t work for front entrances. For Craftsman/ Bungalow dwellings, fifteen-light wood doors are readily available from wholesale stores and are acceptable for front entrances.
- F. If doors are introduced where none existed originally, they should be added at the rear or sides of buildings where not readily visible.

Staff Report

Case # HZ-25-48, 5121 Alabama Ave.

9. Driveways & Paving

Access to the buildings in St. Elmo is generally from rear alleys and new driveways for buildings should also be added at the rear of the lot. The popularity of the Craftsman/Bungalow style coincided with the rise in automobile ownership and many of these dwellings have side lot driveways and original garages. Within the district historic driveway materials such as concrete should be preserved and new driveways should be designed with traditional materials and placement.

A. And their original designs, materials, and placement should be preserved.

B. Which are new, should be located at the rear with access from the alley. **The applicant is proposing to expand and replenish existing gravel parallel spots in the front yard. The property does not have alley access.**

C. In the front or side yards should be of gravel (white or pea gravel), concrete, or concrete tracks (narrow strips). Blacktop or asphalt driveways may be approved but this material is not traditional to the neighborhood and should be avoided. **The existing driveway will increase in size. The applicant is proposing gravel for the parking area.**

D. Should have their parking areas located in the rear yard nearer the alley than the building and screened with hedges, shrubs, or fences where noticeable from the street. **The parking area will be in the front yard.**

E. Of semi-circular design should not be sited in front yards.

F. Requiring new curb cuts to access driveways and parking lots should be kept to a minimum. The addition of curb cuts usually results in the removal of historic sidewalk materials, curbs, and retaining walls. Access through rear alleys is better than adding new curb cuts. Traditional paving materials for driveways include gravel and concrete which are more appropriate materials than aggregate or asphalt. Textured concrete designed to look like brick pavers is also an appropriate material.

Staff Report


Case # HZ-25-48, 5121 Alabama Ave.

6.41 Windows

St. Elmo boasts a wide variety of historic wood windows in various sash designs and sizes. Windows should be maintained or repaired to match the original design. If windows are deteriorated beyond repair, the installation of new wood windows to match the original designs is best. Vinyl clad windows or windows of anodized aluminum are also acceptable but these are more appropriate at the rear or sides of dwellings which are not readily visible from the street. If only one or two windows on the front of the house are deteriorated, consider removing good condition windows from the rear or sides of the house to add in their place.

Original window openings should not be covered or concealed. They should also not be enclosed for the addition of smaller windows. New windows should not be added on the fronts of dwellings but may be added at the rear or sides if not readily visible from the street. The addition of window screens to historic windows is fine as long as the screens are full-view design or have a central meeting rail to match the historic window.

- A. Should be preserved in their original location, size, and design and with their original materials and number of panes. **The applicant is proposing to replace all of the existing windows.**
- B. Should not be added to primary facades or to secondary facades where readily visible.
- C. Should be repaired rather than replaced, but if replacement is necessary due to severe deterioration, the replacement should be in-kind to match the originals in material and design. **The existing windows are a mix of modern and mid-century windows. Applicant is proposing to install new windows that closely match the existing openings.**
- D. Of steel or other metal designs should be preserved and maintained, or replaced with new metal windows which are similar in appearance and materials. **Applicant to confirm if any existing metal windows can be salvaged/retained.**
- E. Should not have snap-on or flush muntins. These muntins are much thinner than the muntins on historic windows and don't look real.
- F. Screens and/or storms should be wood or baked-on or anodized aluminum and fit within the window frames, not overlap the frames.
- G. Should not have shutters unless they are of louvered wood construction and are designed to fit the window opening (so that if closed, they would cover the window opening).
- H. Should not have security bars where visible from the street.




Case # HZ-25-48
5121 Alabama Ave.

Applicant Presentation (10 minutes maximum)

Case # HZ-25-48
5121 Alabama Ave.

Community Comments & Comments by Other Persons
(3 minutes maximum per person)





Case # HZ-25-48
5121 Alabama Ave.

Applicant Response (5 minute maximum)

**Historic Zoning Commission Discussion
Motion and Vote**

Case # HZ-25-54

203 Eveningside Drive

Neighborhood: Ferger Place

Historic Structure: Yes, ca. 1900

Description of proposed project: New Openings, Deck Railing, Material Change



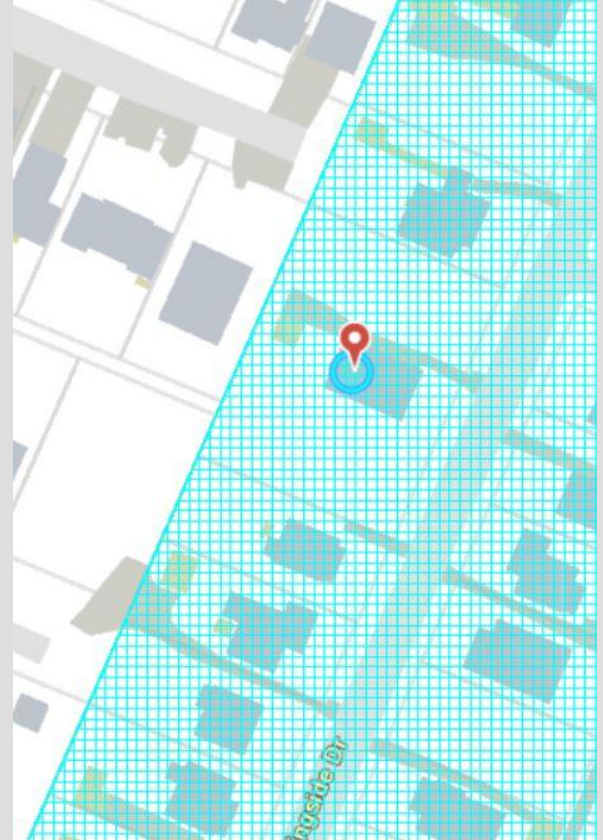
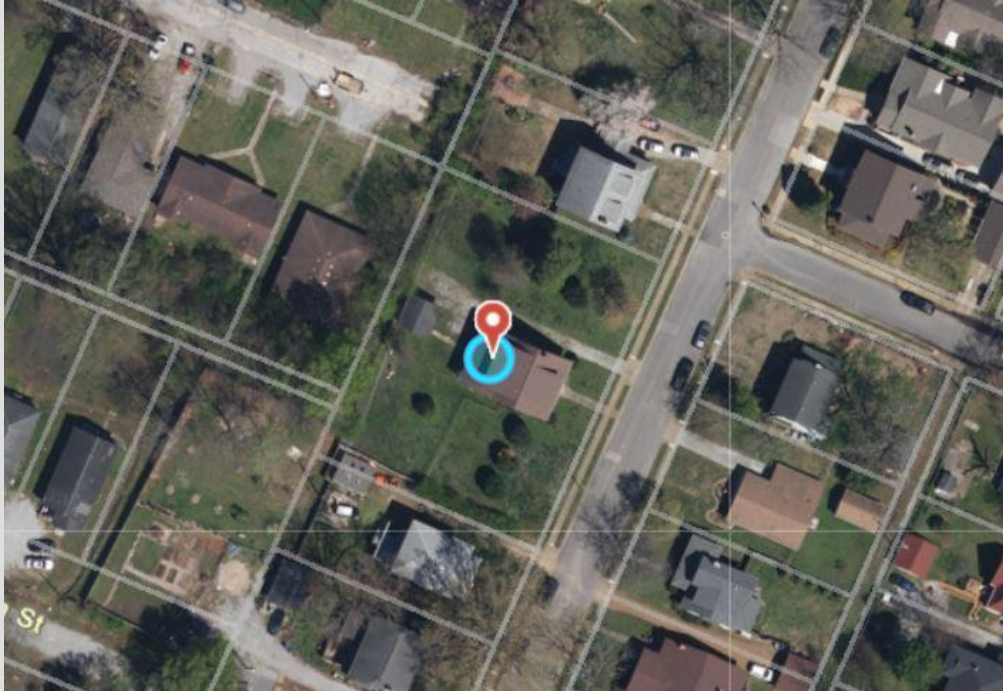
Historic Zoning History:

HZ-22-136: Exterior Renovation

Map Location

Case # HZ-25-54

203 Eveningside Dr.



Property Photos

Case # HZ-25-54
203 Eveningside Dr.



Property Photos

Case # HZ-25-54
203 Eveningside Dr.



Neighboring Property Photos

Case # HZ-25-54
203 Eveningside Dr.



Neighboring Property Photos

Case # HZ-25-54
203 Eveningside Dr.



Application Information

Case # HZ-25-54

203 Eveningside Dr.

203 Eveningside Drive

Chattanooga, TN, 37404

Applicant: Lee Brock

Application Information

Case # HZ-25-54
203 Eveningside Dr.

Context (Adjacent Properties)



Key:

- 1: Vacant lot to left
- 2: House to left
- 3: House to right
- 4: House across street 1
- 5: House across street 2



Application Information

Case # HZ-25-54

203 Eveningside Dr.

Front Elevation Changes (East)

- 1: Change single window (left side) to triple window that mimics the original one to the right of the front door. The single window that is removed will relocate to the left elevation. New window to be wood clad, simulated divided lite.
- 2: Change dormer material from asbestos siding to real cedar shake.
- 3: Remove vinyl shutters from all windows and replace shutter on dormer only with wooden, operable style with dogs.
- 4: Replace existing metal chimney cap with clay cap that is more period correct.



Existing



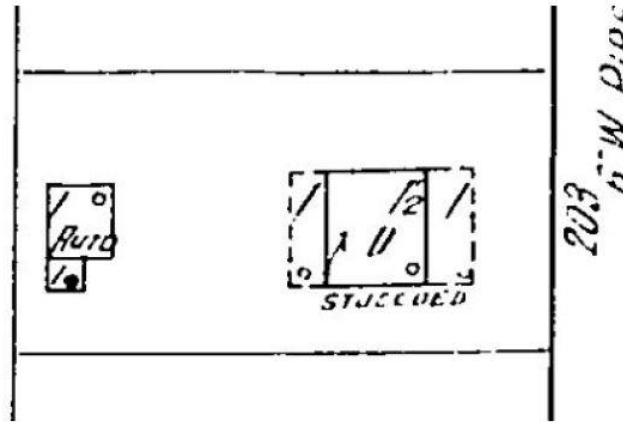
Proposed

Application Information

Case # HZ-25-54

203 Eveningside Dr.

Original Front Porch (East)



1917 Sanborn Map (showing open porch)



2022 Site Photograph

Application Information

Case # HZ-25-54

203 Eveningside Dr.

Front Elevation Changes (East)

- 1: Replace existing metal chimney cap with clay cap that is more period correct.
- 2: Change dormer material from asbestos siding to real cedar shake.
- 3: Add two panel glass patio door to breakfast room (wall to left of front door).
- 4: Add two small windows in master bedroom (right rear). Size TBD, but similar proportion to those shown.



Existing



Proposed



Existing



Proposed

Application Information

Case # HZ-25-54
203 Eveningside Dr.

Rear Elevation Changes (West)

- 1: Change dormer material from asbestos siding to real cedar shake.
- 2: Remove 1960s railing and replace with wood balusters and 6"x6" wood columns.



Existing



Proposed

Application Information

Case # HZ-25-54
203 Eveningside Dr.

Left Elevation Changes (South)

- 1: Change dormer material from asbestos siding to real cedar shake.
- 2: Single window relocated from the front moves to side of breakfast room (front right).
- 3: Remove 1960s railing and replace with wood balusters and 6"x6" wood columns.
- 4: Exchange center window position with right window position.



Existing



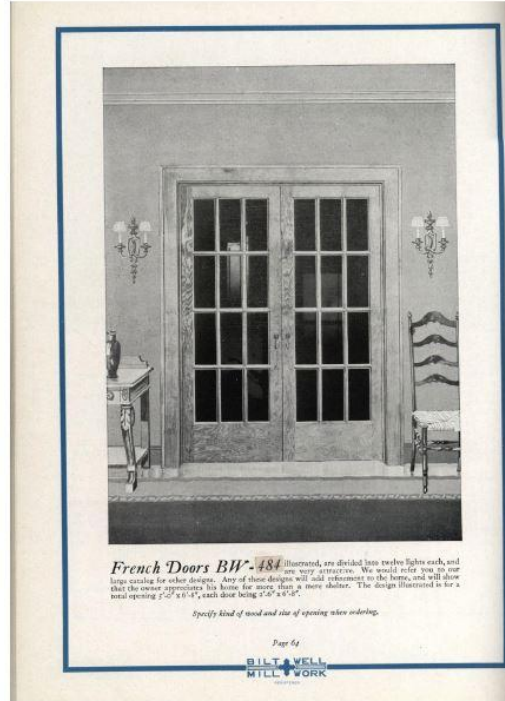
Proposed

Application Information

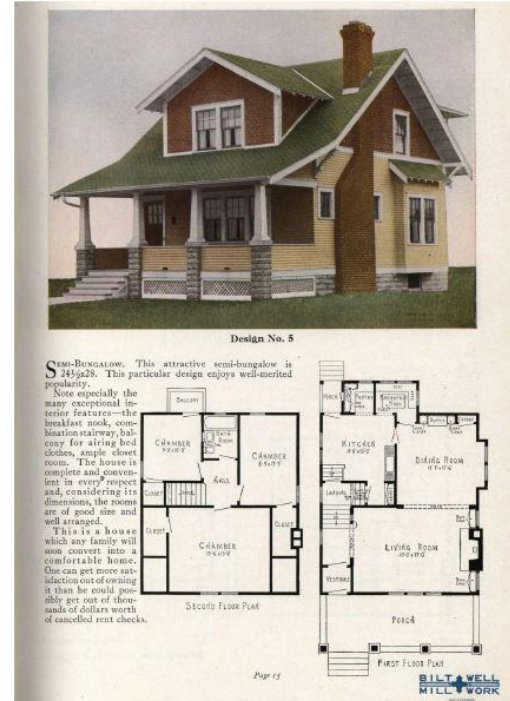
Case # HZ-25-54
203 Eveningside Dr.

Craftsman Bungalow Examples:

From the 1926 *Edition of Practical Homes* by Biltwell Millwork



Ex: Patio door for front porch breakfast room



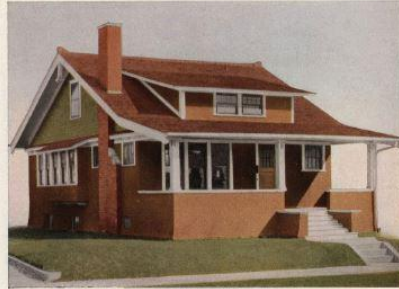
Ex: Differing material in dormer— Proposed cedar shake

Application Information

Case # HZ-25-54
203 Eveningside Dr.

Craftsman Bungalow Examples:

From the 1926 Edition of *Practical Homes* by Biltwell Millwork



Design No. 88

THIS five room bungalow is 26x38 feet, with concrete foundation under the entire house. The plans provide for a 27-inch cement water table extending around the entire house, with stucco from water table to belt course. Shingles are used above, also on the roof. This design retains the low effect so much desired in bungalow construction. The interior arrangement is practical and convenient. The living room, dining room and vestibule are finished in oak or birch. It has a fireplace, bookcase, dining Gothic arch between living and dining room. Spacious interior effect. A kitchen cabinet with all necessary equipment including refrigerator space for outside icing, linen closet with drawers and shelves, machine cabinet in bathroom with mirror and broom closet are all provided for in this plan.

The chambers, bathroom and hall are finished in block or fir, white enamel, doors are stained mahogany.

The basement has a plastered laundry with tubs and floor drain, vegetable cellar with bins and shelves, dustproof coal bin with cast iron coal chute.

Electric wiring throughout with base switches for vacuum cleaners. The modern plumbing fixtures have latest improvements. As this bungalow has much attic space, two large rooms could easily be finished and still have ample space for store room. Hot water or hot air can be used.



Page 22

BILTWELL
MILLWORK

Ex: Proposed small windows on side/differing size



Design No. 42

THIS bungalow, 26x41, has a concrete block foundation under the entire house. The exterior walls are of narrow siding and shingles in gable, with green stained shingles on roof. The interior is exceptionally well planned, as well as convenient. It is a plan which can be adjusted to meet the requirements of a fairly large family, by using the room, designated as sun room, as a chamber. On the other hand, if only two chambers are desired, this room is admirably situated for a sun room. If it is used, you can eliminate the door and have either arch opening or French doors. Besides this sun room, you can have a cozy porch, screened in summer and shaded in winter. The living room and dining room are of good size, with plaster arch between them. The kitchen, has a breakfast nook, kitchen cabinet with refrigerator space for outside icing, also grade entry to basement.

The center hall, leading to kitchen, chambers, bath room and dining room is another admirable feature in this plan.

The woodwork may be fir, birch or oak, finished walnut, old ivory, mahogany, or old English. Chambers should be white enamel with doors stained mahogany.

The basement has laundry tubs, vegetable room and coal bin. Hot water or hot air heat may be used.



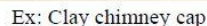
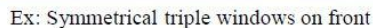
Page 43

BILTWELL
MILLWORK

Ex: Proposed small windows on side/differing size and cedar shake in dormer

Case # HZ-25-54
203 Eveningside Dr.

From the 1926 Edition of *Practical Homes* by Biltwell Millwork



Brown-Blodgett Company. (1970, January 1). *Practical homes : 1926. : Carr, Johnson & Co. : Free Download, borrow, and streaming*. Internet Archive. Retrieved July 20, 2022, from <https://archive.org/details/PracticalHomes1926>

Relevant Ferger Place Guidelines:

Case # HZ-25-54, 203 Eveningside Dr.

5.B Entrances, Porches, and Steps, Page 12

5.C Windows and Doors, Page 13

5.E Materials, Page 15

Staff Report

B. Entrances, Porches, and Steps

1. Porches and steps that are appropriate to the building and its development should be retained. Porches or later additions reflecting later architectural styles are often important to the building's historical integrity in which case they should be retained.
2. Original details and shape – width, roof height, and roof pitch should be retained.
3. **Original porch materials should be preserved or replace when beyond repair. Such materials include wood, terra cotta, tile, slate, brick, marble, stone, and stucco. Other materials may be substituted for these when it is not economically feasible to replace or repair with original materials. The applicant is proposing to remove the later, metal porch balustrade and columns and replace them with wooden columns and balustrade.**
4. Original porch details, such as columns, balusters, handrails, pediments, brackets, and roof detail, should be preserved or replaced when beyond repair.
5. The enclosing of front porches is inappropriate and should be avoided.
6. Screening porches is acceptable if the screening does not detract from the character and appearance of the building.
7. The enclosing of side porches may be considered appropriate if the visual openness and character of the porch is maintained.
8. Handicapped ramps should be built on the house in as unobtrusive a place as possible, i.e., if the ramp can be built on the side of the house instead of the front without causing substantial inconvenience to the property owner, then this should be done. Ramps should be screened with vegetation to help them blend in with the house.

Staff Report

Case # HZ-25-54, 203 Eveningside Dr.

C. Windows and Doors


1. The original size, shape, and materials of windows and doors should be preserved or replaced if beyond repair.
2. **Existing window and door openings and hardware including window sash, glass, lintels, sills, architraves, shutters, doors, pediments, hoods, steps, transoms, side lights, and all hardware, should be retained and repaired if possible. The applicant is proposing to remove vinyl shutters and reinstall wooden, operable shutters on the dormer only.**
3. The original number and arrangement of panes should be maintained.
4. Storm windows and doors should be visually unobtrusive – they should be painted, anodized, or coated to match the existing. They should not. Preserving the size, shape, and materials of windows has a significant impact on the aesthetics of a historic home., the most visual component of historic homes, are important character defining elements of a house's architecture. damage existing frames and should be able to be removed in the future.
5. Plastic or metal strip awnings or non-original shutters that detract from the character and appearance of the building should not be used.
6. **New window and door openings should not be introduced. The applicant is proposing to install multiple new door and window openings. Applicant is proposing a new front window on the front elevation that was previously an open porch and french doors on to the existing porch on the front elevation. Applicant is proposing two new windows on the east elevation at the rear and one new window on the south elevation at the rear.**
7. Original window and door openings should not be filled in.

Staff Report

Case # HZ-25-54, 203 Eveningside Dr.

E. Materials

1. Original building material (wood, brick, mortar, stone, terra cotta, and stucco) should be retained. **The applicant is proposing to install cedar shake siding on the existing dormer. The applicant provided examples from a period appropriate home catalog showing the cedar shake siding as a relevant material. The home catalog also shows a clay chimney cap. The applicant is proposing to replace the metal chimney cap with a clay cap.**
2. Reproduction or synthetic materials, such as vinyl and aluminum siding, should only be used when based on historic documentation. Vinyl or other synthetic siding should not detract from the character and appearance of the structure.
3. Vinyl siding or other synthetic siding should not obscure character defining elements of the structure, such as roof trim and window surrounds.
4. Replacement wood siding should be consistent with the original in size, direction, and lap dimension. Diagonal siding should not be used. Vertical siding should not be used unless the original siding was vertical. Original wall shingles should be maintained where possible, or replaced with compatible material. **The applicant is proposing to install cedar shake siding on the existing dormer. The applicant provided examples from a period appropriate home catalog showing the cedar shake siding as a relevant material.**
5. Masonry and Mortar Joints:
 - Masonry such as brick, stone, terra cotta, concrete, stucco, should be retained whenever possible.
6. Resurfacing masonry with inappropriate new materials, such as veneer, asphalt, or fi berglass shingles, or aluminum siding is not recommended. When repairing stucco, the mixture should duplicate the original in appearance and texture.
7. Repointing: See Guidelines




Case # HZ-25-54
203 Eveningside Dr.

Applicant Presentation (10 minutes maximum)

Case # HZ-25-54
203 Eveningside Dr.

Community Comments & Comments by Other Persons
(3 minutes maximum per person)





Case # HZ-25-54
203 Eveningside Dr.

Applicant Response (5 minute maximum)

**Historic Zoning Commission Discussion
Motion and Vote**

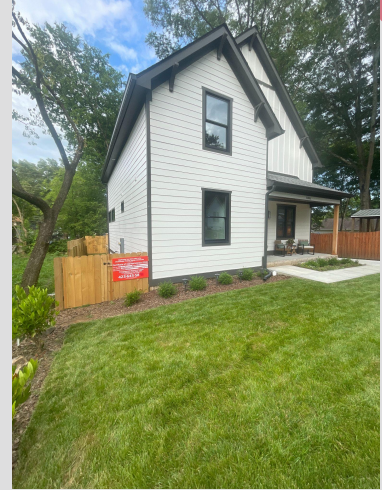
Case # HZ-25-67

5406 Virginia Avenue

Neighborhood: St. Elmo

Historic Structure: No, ca. 2025

Description of proposed project: Shed



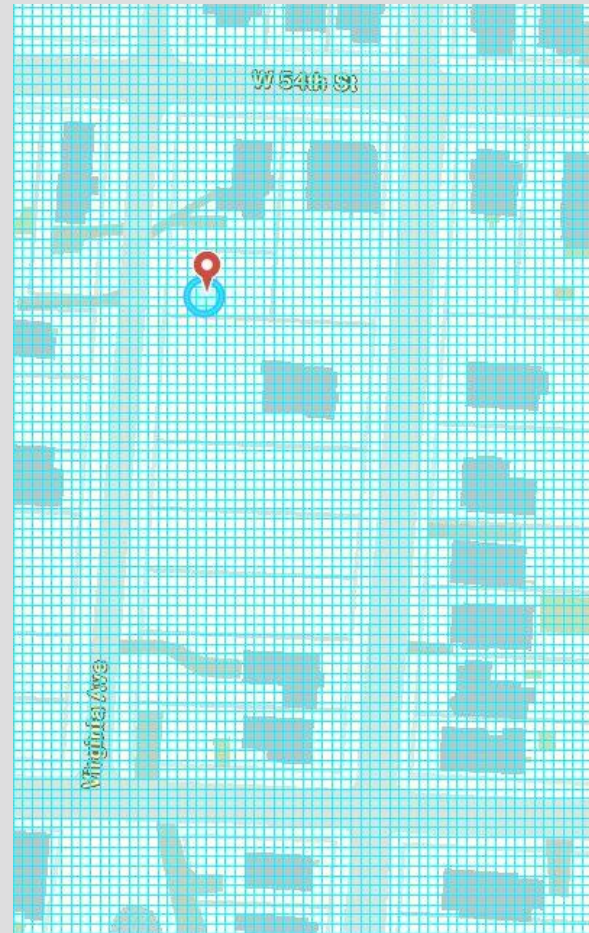
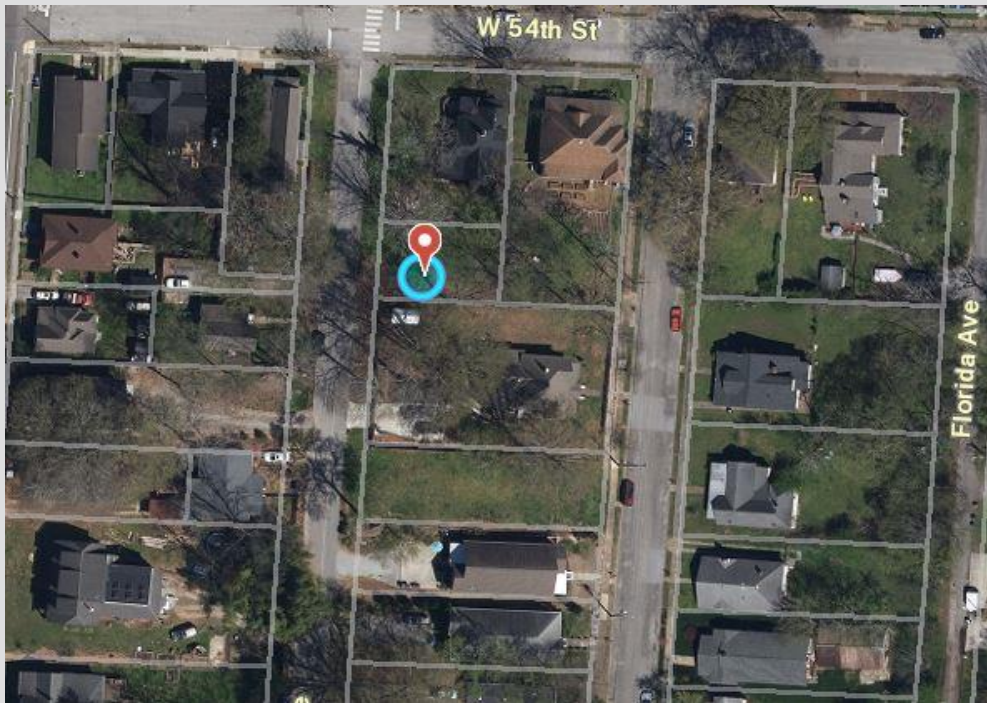
Historic Zoning History:

HZ-23-150: New Construction

Map Location

Case # HZ-25-67

5406 Virginia Ave.



Property Photos

Case # HZ-25-67
5406 Virginia Ave.



Property Photos

Case # HZ-25-67
5406 Virginia Ave.



Neighboring Property Photos

Case # HZ-25-67
5406 Virginia Ave.



Neighboring Property Photos

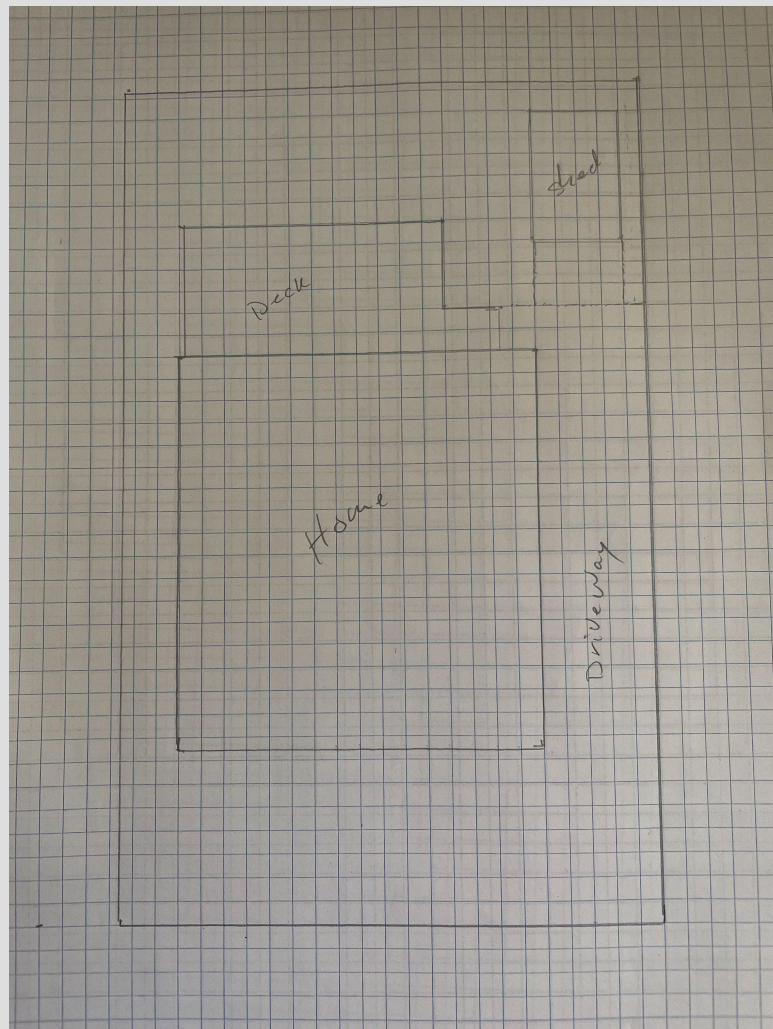
Case # HZ-25-67
5406 Virginia Ave.



Application Information

Case # HZ-25-67

5406 Virginia Ave.



Application Information

Case # HZ-25-67

5406 Virginia Ave.



Material List

Case # HZ-25-67

5406 Virginia Ave.

12:58



Back



Done

Shed material

2x4's

2x6's

OSB

huber blue

Asphalt shingles



Relevant St. Elmo Guidelines:


Case # HZ-25-67, 5406 Virginia Ave.

6.22 New Construction, Page 52

Staff Report

C. Of secondary buildings such as garages, carports, and other outbuildings should be:

1. Smaller in scale than the primary building; **Yes.**
2. Simple in design but reflecting the general character of the primary building. For example, use gable roof forms if the main dwelling has a gable roof, hipped roof forms if the main dwelling has a hipped roof etc.; **The proposed outbuilding has a gable roof that mimics the gable roof on the primary dwelling.**
3. Located as traditional for the street, near an alley or at the side of the dwelling, not close to or attached to the primary building; **Yes, the outbuilding is to the rear of the dwelling.**
4. Compatible in design, shape, materials, and roof shape to the main building. **Yes.**
5. Preferably of wood siding. However, if located along rear alleys or towards the rear of the lot, secondary buildings may have exterior siding materials such as masonite (preferred), aluminum, or vinyl. Along rear alleys or rear lot lines, standard prefabricated buildings are also acceptable. **Applicant is proposing OSB.**
6. If readily visible from the street, secondary buildings should have an emphasis on historic designs and detailing. For garages wood paneled doors are more appropriate than paneled doors of vinyl, aluminum, or steel. Wood paneled overhead roll-up doors are widely available and are appropriate for new garages. Applicant is proposing carriage style garage doors. **The outbuilding will be behind the dwelling and within the privacy fence. It will not be readily visible.**




Case # HZ-25-67
5406 Virginia Ave.

Applicant Presentation (10 minutes maximum)

Case # HZ-25-67
5406 Virginia Ave.

Community Comments & Comments by Other Persons
(3 minutes maximum per person)





Case # HZ-25-67
5406 Virginia Ave.

Applicant Response (5 minute maximum)

**Historic Zoning Commission Discussion
Motion and Vote**

Case # HZ-25-70

4199 Tennessee Avenue

Neighborhood: St. Elmo

Historic Structure: No, ca. 2025

Description of proposed project: Shed



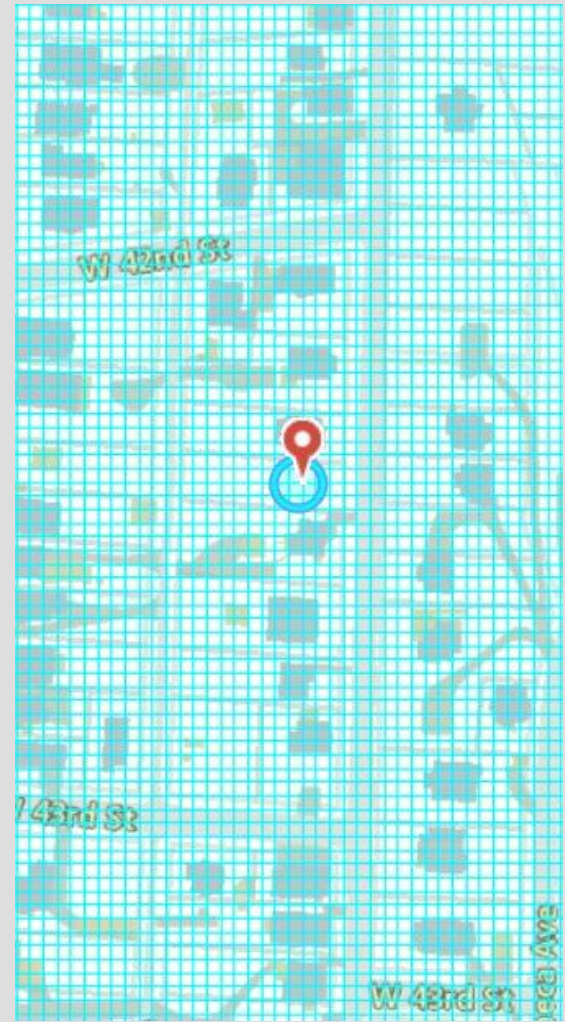
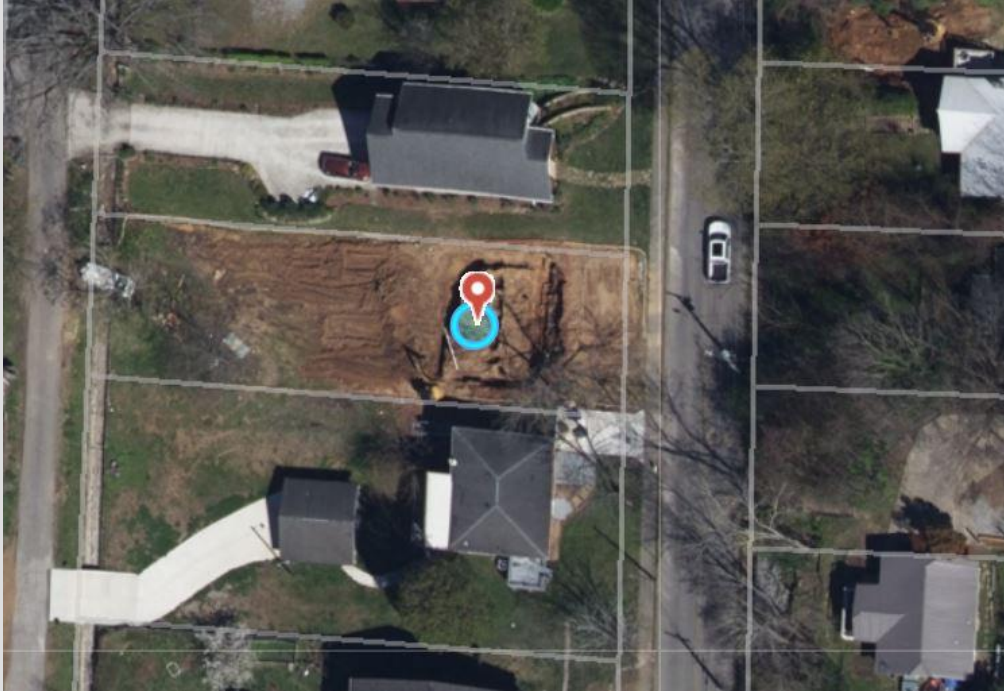
Historic Zoning History:

HZ-23-189: New Construction

Map Location

Case # HZ-25-70

4199 Tennessee Ave.



Property Photos

Case # HZ-25-70

4199 Tennessee Ave.



Neighboring Property Photos

Case # HZ-25-70

4199 Tennessee Ave.



Neighboring Property Photos

Case # HZ-25-70

4199 Tennessee Ave.



Neighboring Property Photos

Case # HZ-25-70

4199 Tennessee Ave.



Application Information

Case # HZ-25-70

4199 Tennessee Ave.



Application Information

Case # HZ-25-70

4199 Tennessee Ave.



Application Information

Case # HZ-25-70

4199 Tennessee Ave.



Weather-proof roof system

It's the ultimate barrier against the worst Mother Nature can deliver. This roof starts with professional grade felt and drip edge to prevent water from entering the eaves of the shed. Lifetime warranted architectural shingles and our extended roof overhang keep serious moisture away from the foundation.

Architectural shingles with lifetime warranty

High-definition architectural shingles are backed by a lifetime warranty so you can buy with confidence.

Triple layer protection

The layered system of felt, drip edge and lifetime architectural shingles provides unsurpassed long-term durability.

Application Information

Case # HZ-25-70

4199 Tennessee Ave.

5/19/25, 3:15 PM

Springfield Shed with Windows & 2 Entrances | Heartland Shed



Features

RIGID 2X4 WALL FRAMING
Stands up to strong wind and heavy snow loads

TREATED LVP SIDING
Resists fungal decay, termites, and hail. Comes factory-primed and ready to paint

LOFT
A loft maximizes storage capacity & function

HEAVY-DUTY LVP PROSTRUCT FLOOR
Built beyond industry standard to hold heavy equipment

CONTINUOUS HINGES
Full-length hinges distribute door weight evenly

64" WIDE DOUBLE DOORS & 32" WIDE SERVICE DOOR
Provides easy access for ATVs, lawn mowers, and more

Details

Bathed with natural light and two entrances for flexible access!

The Springfield has all the space you need for storage and workspace. It was designed to be the perfect canvas for a backyard office, workshop space, man cave, wine shed, workshop, potting shed – or whatever you can dream up. The 64" wide double doors make for easy in and out with lawn mowers or ATVs. The side door offers easy access to frequently used tools and equipment, or an open space you can dedicate to work. Operate windows provide plenty of airflow to maintain a comfortable temperature. Measuring 12' x 10', the Springfield, with its classic design, will enhance your landscape while helping you tackle your to-do list every day. This welcoming space will feel like an extension of your home.

Roof Material	Dimensional shingles with lifetime warranty. (4) colors to choose from	
Door Opening	64" x 70" (double door) 32" x 70" side entry	
Stair Height	7"	
Peak Height	10'3.5"	
Warranty	10-year limited material, 1-year labor	

5/19/25, 3:15 PM

Springfield Shed with Windows & 2 Entrances | Heartland Shed

UP TO 20% OFF (ENDS 5/25)

Home » Springfield



Customer Highlights



★★★★★ (4 Reviews)

Springfield Shed with Dormer

\$5,099 \$4,799

(Starting at \$3,399 w/ 10% OFF w/ code [SHED20250525](#))

- Delivery and installation included
- Heavy-duty treated floor for strength and durability
- High-def shingles with Lifetime Warranty
- 64" Wide Double Doors and 32" Wide Service Door
- Overhead Storage Lift Included
- Three Operable Windows with Screens

Select size - 12x10

Select

Select shingle color - Gray

Select

Select paint upgrade

Paint Package - \$995 \$170

(Professional painter - required)

Add To Cart

☒ Request a Consultation | Use Chat with our SmartBot

Ready to purchase and ready to chat? Start with us now.

Features Details Reviews

5/19/25, 3:15 PM

Springfield Shed with Windows & 2 Entrances | Heartland Shed



Heavy-duty treated floor

Built to withstand your heaviest equipment with sturdy 2x4 wood framing and 22 inch on-center joists. The floor is mounted on pressure-treated 4x4 corners to make the structure. The decking is LVP Prostruct® Flooring for a professional grade surface and long lasting performance. A welcome upgrade compared to standard plywood flooring.

Ultimate durability LVP Prostruct® Flooring

SmartBot's® wood vinyl technology treated for long-lasting performance in all climates/weathers SmartBot's® for a beautiful surface with enhanced durability. Excellent resistance to warping, splitting and cupping.

Planned Photo Takeback

For superior looks, performance, and durability.

Relevant St. Elmo Guidelines:


Case # HZ-25-70, 4199 Tennessee Ave.

6.22 New Construction, Page 52

Staff Report

C. Of secondary buildings such as garages, carports, and other outbuildings should be:

1. Smaller in scale than the primary building; **Yes.**
2. Simple in design but reflecting the general character of the primary building. For example, use gable roof forms if the main dwelling has a gable roof, hipped roof forms if the main dwelling has a hipped roof etc.; **The proposed outbuilding has a gable roof that mimics the gable roof on the primary dwelling.**
3. Located as traditional for the street, near an alley or at the side of the dwelling, not close to or attached to the primary building; **Yes, the outbuilding is to the rear of the dwelling.**
4. Compatible in design, shape, materials, and roof shape to the main building. **Yes.**
5. Preferably of wood siding. However, if located along rear alleys or towards the rear of the lot, secondary buildings may have exterior siding materials such as masonite (preferred), aluminum, or vinyl. Along rear alleys or rear lot lines, standard prefabricated buildings are also acceptable. **The shed has LP Smart Siding.**
6. If readily visible from the street, secondary buildings should have an emphasis on historic designs and detailing. For garages wood paneled doors are more appropriate than paneled doors of vinyl, aluminum, or steel. Wood paneled overhead roll-up doors are widely available and are appropriate for new garages. Applicant is proposing carriage style garage doors. **The outbuilding will be visible from Virginia Avenue.**




Case # HZ-25-70
4199 Tennessee Ave.

Applicant Presentation (10 minutes maximum)

Case # HZ-25-70
4199 Tennessee Ave.

Community Comments & Comments by Other Persons
(3 minutes maximum per person)





Case # HZ-25-70
4199 Tennessee Ave.

Applicant Response (5 minute maximum)

**Historic Zoning Commission Discussion
Motion and Vote**

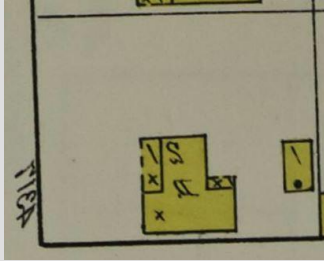
Case # HZ-25-73

4317 St. Elmo Avenue

Neighborhood: St. Elmo

Historic Structure: Yes, ca. 1900, Pre-1889 per National Register Nomination

Description of proposed project: Remove Existing Vinyl Siding (damaged by neighboring fire) and Replace with New Vinyl Siding



(134) 4317 St. Elmo Avenue (Pre-1889): Irregular, two stories, frame, gabled roof.



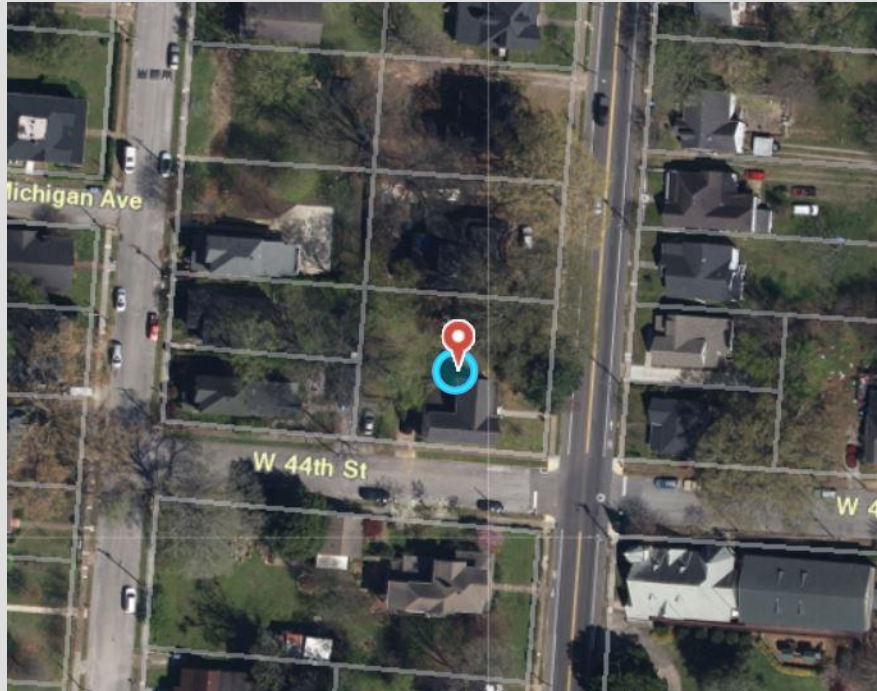
Historic Zoning History:

HZ-13-67: Repair Front Porch

Map Location

Case # HZ-25-73

4317 St. Elmo Ave.



Property Photos

Case # HZ-25-73
4317 St. Elmo Ave.



Property Photos

Case # HZ-25-73
4317 St. Elmo Ave.



Neighboring Property Photos

Case # HZ-25-73
4317 St. Elmo Ave.



Neighboring Property Photos

Case # HZ-25-73
4317 St. Elmo Ave.



Application Information

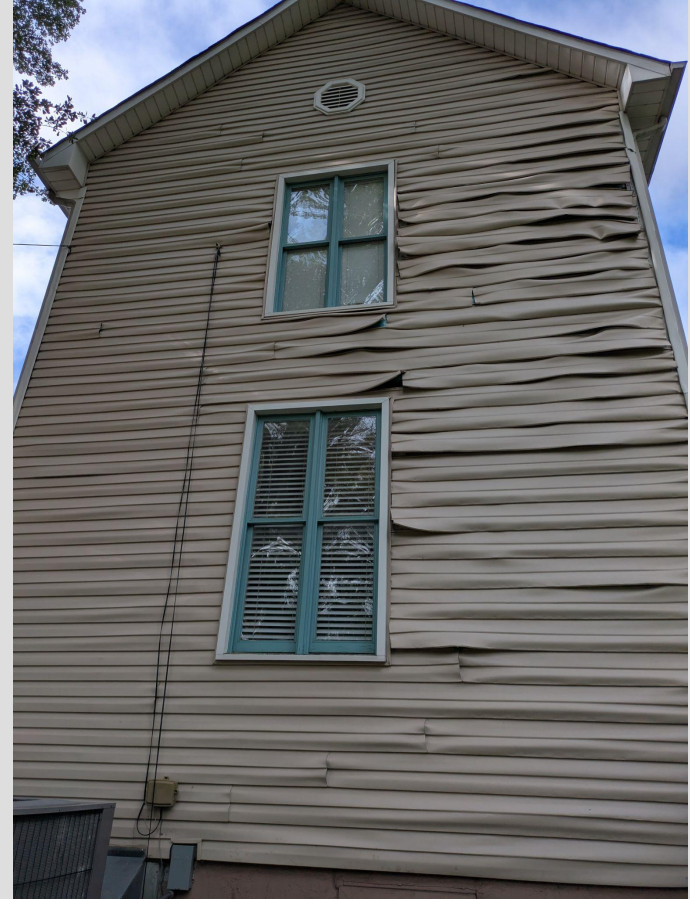
Case # HZ-25-73

4317 St. Elmo Ave.



Application Information

Case # HZ-25-73
4317 St. Elmo Ave.



Application Information

Case # HZ-25-73

4317 St. Elmo Ave.



Application Information

Case # HZ-25-73
4317 St. Elmo Ave.



Application Information

Case # HZ-25-73
4317 St. Elmo Ave.



Mathews Construction Inc.

Mathews Constructin Inc.
POB 15097
Chattanooga, Tn. 37415
(423) 877-1208 (o)
(423) 877-1209 (f)
Email: Office@mathewsconstruction.org

Insured: ROBERT BARHAM
Property: 4317 Saint Elmo Ave
Chattanooga, TN 37409-1659
Home: 2532 Bocage Lake Dr
Baton Rouge, LA 70809-1037

Home: (318) 366-7549

Claim Rep.: Tim Lind
Business: P.O. Box 15097
Chattanooga, TN 37415

Business: (423) 877-1208
E-mail: Mathewco@bellsouth.net

Estimator: Tim Lind
Business: P.O. Box 15097
Chattanooga, TN 37415

Business: (423) 877-1208
E-mail: Mathewco@bellsouth.net

Claim Number: 4273J680M	Policy Number: 92B2R3470	Type of Loss: Fire	
Coverage		Deductible	Policy Limit
Dwelling		\$0.00	\$0.00
Date Contacted:	10/2/2024 11:11 AM	Date Received:	9/5/2024 12:00 AM
Date of Loss:	9/5/2024 12:00 AM	Date Entered:	9/26/2024 1:52 PM
Date Inspected:	10/2/2024 11:11 AM		
Date Est. Completed:	3/12/2025 3:38 PM		
Price List:	TNCH8X_JUN25	Depreciate Material:	Yes
	Restoration/Service/Remodel	Depreciate Non-material:	Yes
Estimate:	ROBERT_BARHAM	Depreciate Removal:	Yes
		Depreciate Taxes:	Yes



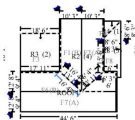
Mathews Construction Inc.

Mathews Constructin Inc.
POB 15097
Chattanooga, Tn. 37415
(423) 877-1208 (o)
(423) 877-1209 (f)
Email: Office@mathewsconstruction.org

ROBERT BARHAM

Source - Eagle View

Source - Eagle View



2326.93 Surface Area	23.27 Number of Squares
268.27 Total Perimeter Length	78.16 Total Ridge Length
11.90 Total Hip Length	

CAT	SEL	ACT DESCRIPTION	RESET	REMOVE	REPLACE	TAX	O&P	TOTAL
	CALC	QTY						
1. RFG	240S	--	Remove 3 tab - 25 yr. - comp. shingle roofing - w/out felt	55.01+	0.00 =	0.00	256.02	1,536.10
	SQ	23.27 SQ						
2. RFG	FELT15	+	Roofing felt - 15 lb.	0.00+	30.81 =	14.62	146.32	877.89
	SQ	23.27 SQ						
3. RFG	240S	+	3 tab - 25 yr. - comp. shingle roofing - w/out felt	0.00+	213.40 =	253.50	1,203.06	7,218.36
	SQ*1.15	27.00 SQ [*]						
Component RFG240 from this line item was priced by ITEL Asphalt Shingle Pricing (ASP) on 12 Mar 2025.								
4. RFG	RL	+	Roll roofing	0.00+	114.91 =	6.91	24.36	146.18
	1	1.00 SQ						
5. RFG	RIDGC	&	R&R Hip / Ridge cup - cut from 3 tab - composition shingles	2.58+	4.12 =	8.89	106.52	639.08
	R	78.16 LF [*]						
Component RFG240 from this line item was priced by ITEL Asphalt Shingle Pricing (ASP) on 12 Mar 2025.								
6. RFG	HIGH	-	Remove Additional charge for high roof (2 stories or greater)	5.71+	0.00 =	0.00	26.58	159.45
	SQ	23.27 SQ						
7. RFG	HIGH	+	Additional charge for high roof (2 stories or greater)	0.00+	18.66 =	0.00	86.84	521.06
	SQ	23.27 SQ						
8. RFG	STEEP	-	Remove Additional charge for steep roof - 7/12 to 9/12 slope	15.09+	0.00 =	0.00	60.36	362.16
	20	20.00 SQ						
9. RFG	STEEP	+	Additional charge for steep roof - 7/12 to 9/12 slope	0.00+	42.23 =	0.00	168.92	1,013.52
	20	20.00 SQ						
Totals: ROOF1						283.92	2,078.98	12,473.80

Siding

Application Information

Case # HZ-25-73
4317 St. Elmo Ave.



Mathews Construction Inc.

Mathews Constructin Inc.
POB 15097
Chattanooga, Tn. 37415
(423) 877-1208 (o)
(423) 877-1209 (f)
Email: Office@mathewsconstruction.org

CAT	SEL	ACT DESCRIPTION					TAX	O&P	TOTAL
		CALC	QTY	RESET	REMOVE	REPLACE			
10. SDG	MLAP	3746.6	3746.60 SF	& R&R Siding - hardboard - lap pattern - 8"	0.47+	6.39 =	838.68	5,308.08	31,848.43
11. SDG	VINYL	3746.6	3746.60 SF	- Remove Siding - vinyl	0.47+	0.00 =	0.00	352.18	2,113.08
12. PNT	X2	3746.6	3746.60 SF	+ Exterior - paint two coats	0.00+	1.57 =	138.62	1,204.16	7,224.94
13. PNT	PHIGH	3746.6	3746.60 SF	+ Additional cost for high wall or ceiling - Over 14'	0.00+	0.13 =	0.00	97.42	584.48
14. SDG	1X4IIB	126+36+272	434.00 LF	& R&R Siding trim - 1" x 4" hardboard trim board	0.37+	8.56 =	68.65	788.86	4,733.13
15. PNT	DORT	17	17.00 EA	+ Paint door/window trim & jamb - 2 coats (per side)	0.00+	43.62 =	8.85	150.08	900.47
16. SCF	LJW	4	4.00 WK	+ Two ladders with jacks and plank (per week)	0.00+	414.90 =	0.00	331.92	1,991.52
17. DMO	DUMP>	1	1.00 EA	- Dumpster load - Approx. 30 yards, 5-7 tons of debris	575.16+	0.00 =	0.00	115.04	690.20
18. SFG	SFTW	536.54	536.54 SF	& R&R Soffit - wood	0.32+	7.90 =	91.32	900.34	5,402.02
19. SFG	FACW6	268.27	268.27 LF	& R&R Fascia - 1" x 6" - #1 pine	0.37+	9.79 =	56.33	556.40	3,338.35
20. PNT	SFTM	536.54	536.54 SF	+ Prime & paint exterior soffit - metal	0.00+	2.88 =	15.39	312.12	1,872.75
21. PNT	FACW	267.27	267.27 LF	+ Prime & paint exterior fascia - wood, 4" - 6" wide	0.00+	2.40 =	5.19	129.34	775.98
22. SFG	GUTA	2367.27	2367.27 LF	R Detach & Reset Gutter / downspout - aluminum - up to 5"	6.39	0.00+	0.00 =	3,025.38	18,152.24
Totals: Siding							1,223.03	13,271.32	79,627.59
Total: Source - Eagle View							1,506.95	15,350.30	92,101.39
Total: Source - Eagle View							1,506.95	15,350.30	92,101.39
Line Item Totals: ROBERT_BARHAM							1,506.95	15,350.30	92,101.39



Mathews Construction Inc.

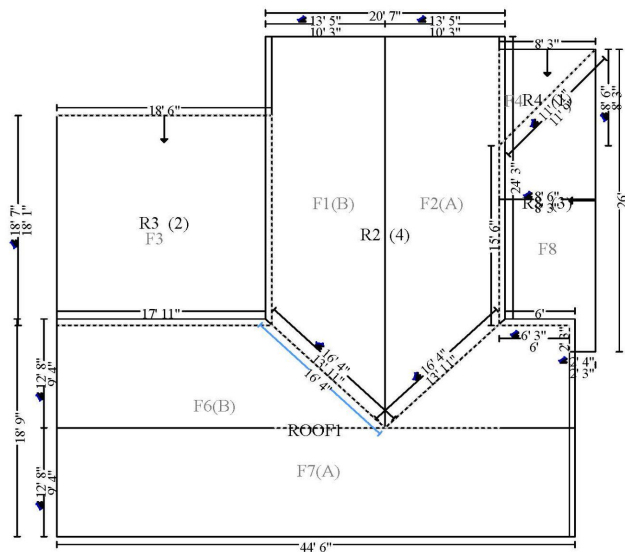
Mathews Constructin Inc.
POB 15097
Chattanooga, Tn. 37415
(423) 877-1208 (o)
(423) 877-1209 (f)
Email: Office@mathewsconstruction.org

Grand Total Areas:

0.00 SF Walls	0.00 SF Ceiling	0.00 SF Walls and Ceiling
0.00 SF Floor	0.00 SY Flooring	0.00 LF Floor Perimeter
0.00 SF Long Wall	0.00 SF Short Wall	0.00 LF Ceil. Perimeter
0.00 Floor Area	0.00 Total Area	0.00 Interior Wall Area
2,802.10 Exterior Wall Area	0.00 Exterior Perimeter of Walls	
2,326.93 Surface Area	23.27 Number of Squares	268.27 Total Perimeter Length
78.16 Total Ridge Length	11.90 Total Hip Length	

Case # HZ-25-73
4317 St. Elmo Ave.

Source - Eagle View - Source - Eagle View



N
↑

Source - Eagle View

6/27/2025

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Mathews Construction Inc.

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Summary for Dwelling

Line Item Total	75,244.14
Material Sales Tax	1,506.95
Subtotal	76,751.09
Overhead	7,675.15
Profit	7,675.15
Replacement Cost Value	\$92,101.39
Net Claim	\$92,101.39

Tim Lind

ROBERT BARHAM

6/27/2025

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Material List

Case # HZ-25-73
4317 St. Elmo Ave.

R&R Siding - hardboard - lap pattern - 8"

Or

Vinyl siding

Square footage: 3,746

Relevant St. Elmo Guidelines:

Case # HZ-25-73, 4317 St. Elmo Ave.

6.33 Siding, Page 70

Staff Report

6.33 Siding

Exterior wood siding and shingles are essential components defining a building's architectural character. The concealment of original wood siding with vinyl, aluminum, or other synthetic sidings is not appropriate. These siding materials do not successfully imitate the original wood siding dimensions or texture. There are also potential structural problems inherent in the use of these materials on historic buildings.

Siding guidelines for St. Elmo are as follows:

- A. Wood siding original to the building should be repaired rather than replaced only where necessary due to deterioration.
- B. Wall shingles original to the building should be preserved but if replacement is necessary the new shingles should match the original in size, placement, and design (this includes decorative wood shingles of Victorian buildings as well as wood or asphalt shingles of bungalow period houses).
- C. The application of masonite over original wood siding is also not appropriate and is discouraged. Repair of original wood siding should be with wood siding to match the original. However, masonite may be used if the dimensions, texture, and color matches the original wood siding. **The applicant is proposing vinyl or hardie board siding for the dwelling. The existing vinyl siding was damaged by a neighboring fire and the applicant would like to replace it in-kind. Upon further inspection while working with staff, the applicant determined that the original wood lap siding is present beneath the existing vinyl siding. The applicant is proposing to remove all the vinyl siding and reinstall new.**
- D. The removal of synthetic sidings such as aluminum, asbestos, and vinyl and the restoration of the original wood siding is highly encouraged. **The applicant is proposing vinyl or hardie board siding for the dwelling. The existing vinyl siding was damaged by a neighboring fire and the applicant would like to replace it in-kind. Upon further inspection while working with staff, the applicant determined that the original wood lap siding is present beneath the existing vinyl siding. The applicant is proposing to remove all the vinyl siding and reinstall new.**
- E. The application of synthetic or substitute materials such as vinyl or aluminum over original wood siding is not appropriate and their use is discouraged but not prohibited. To be approved, the application of these materials must not result in the concealment of or removal of original decorative detailing or trim. This includes the concealment of window and door surrounds. Synthetic siding materials should match the dimensions of the original wood siding as closely as possible. Care should be taken to have the synthetic sidings vented to the maximum extent possible.

NOTE: The application of synthetic sidings is in violation of federal standards and such projects would not qualify for any federal tax credits.


Staff Report

Case # HZ-25-73, 4317 St. Elmo Ave.

F. Consideration for determining the appropriateness of a change in siding will be based on the following criteria: what is the age of the building and is it contributing or significant to the district; where is the building located within the district, and; are the proposed changes visible from the street or on a primary façade? **The building was constructed before 1899 per the National Register Nomination. The building is shown on the 1917 Sanborn Map as a frame dwelling. The property is listed as contributing in the National Register District, and the proposed siding changes are visible from St. Elmo Avenue and W. 44th Street.**

G. Siding of particle board or pressboard is also not appropriate for the fronts of dwellings or sides which are readily visible from the street. Almost all frame dwellings in St. Elmo have horizontal siding forms. Vertical siding such as “T1-11” is not appropriate.

H. Asbestos shingles which are original to a dwelling should be kept stained or painted. If asbestos shingle siding is deteriorated or poses a health hazard, it may be enclosed or covered with other synthetic sidings such as vinyl or masonite.




Case # HZ-25-73
4317 St. Elmo Ave.

Applicant Presentation (10 minutes maximum)

Case # HZ-25-73
4317 St. Elmo Ave.

Community Comments & Comments by Other Persons
(3 minutes maximum per person)





Case # HZ-25-73
4317 St. Elmo Ave.

Applicant Response (5 minute maximum)

**Historic Zoning Commission Discussion
Motion and Vote**



Other Business:

- Elections

Staff Updates:

- Guidelines Status

Final Information:

A **Certificate of Appropriateness** will be issued for approved projects within a week of the hearing.

Next meeting date: August 21, 2025 (application deadline – July 18, 2025 at 4 p.m.)

If your case is deferred **OR** if you have conditional items to bring back before the Commission, you **MUST** contact staff and ask to be added to the agenda for that meeting. You will **NOT** automatically be added to the agenda.



Adjourn

Motion and Vote