

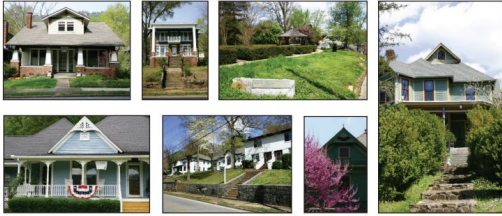
Historic Zoning Commission

October 17, 2024



St. Elmo

Historic District Guidelines



Fort Wood

Historic District Guidelines



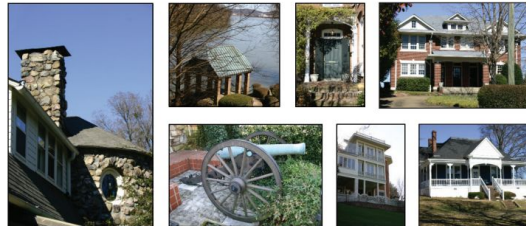
Ferger Place

Historic District Guidelines



Battery Place

Historic District Guidelines



Rules of Procedure

The order of business for hearing will be as follows:

1. **Staff Presentation**
 - a. Application description of proposed project
 - b. Note if the site/structure is historic and/or listed as contributing to the character of the district.
 - c. Location of proposed project
 - d. Explanation of proposed project
 - e. Project photographs and plans
2. **Applicant Presentation** (10 minutes maximum)
3. **Comments by Other Persons** (limited to 5 minutes)
 - a. Opponents, proponents, and other
4. **Applicant Response** (5 minute maximum)
5. **Historic Zoning Commission Discussion**
6. **Motion and Vote**

A Certificate of Appropriateness will be issued within a week of the hearing.

If you defer your case OR if you have conditional items to bring back before the Commission, you **MUST** contact staff and ask to be added to the agenda for that meeting. You will NOT automatically be added to the agenda.

Please note that this meeting is being recorded.

Additional Rules of Procedure

- **Swearing In & Sign In:** If you plan to speak you must be sworn in and sign in at the podium.
- **Laser Pointer:** Use the laser pointer to indicate what areas you are modifying when presenting.
- **Applicant Deferring Case:** If you would like to defer your case to be heard at a later date, a deferral must be requested by the applicant prior to the statement of the case's motion.
 - The application must be updated (in its entirety) by the applicant and submitted one week after the meeting date.
- **Exiting During the Meeting:** If you leave the meeting, please wait until exiting to wooden doors to speak.
- **COA Information:**
 - All construction work must meet the Certificate of Appropriateness (COA) and Design Guidelines as approved by the Chattanooga Historic Zoning Commission or CHZC Staff. If plans change, a new application will be required. If work is not started within 6 months of issue date, a new COA will need to be issued.
 - A COA is NOT a building permit or a land disturbing permit. Please contact the Land Disturbing Office or the Building Permit Office prior to starting the project.
 - The COA must be posted in a visible location or on file on the property until the project is completed.

Agenda

1. Roll Call

2. Swearing In

3. Rules of Procedure. Order of Business

4. Approve Minutes of Prior Meetings

6. Old Business:

- I. HZ-23-128: 109 Morningside Dr.: COA Revisions
- II. HZ-24-73: 4905 Florida Ave.: Parking

7. New Business:

a. Listing of Staff Reviews

b. Commission Cases to review

- I. HZ-23-185: 1505 W. 54th St.: Parking
- II. HZ-24-86: 1505 W. 54th St.: Shed
- III. HZ-24-93: 5015 St. Elmo Ave.: Deck
- IV. HZ-24-95: 4505 Balcomb St.: Demolition of Primary Structure
- V. HZ-24-96: 4425 Seneca Ave.: Window Replacement

8. Other Business: None

9. Announcements: Next meeting date: November 21, 2024 (application deadline – October 18, 2024 by 4 p.m.)

10. Adjourn

Staff Reviews

- I. HZ-24-91: 621 Fortwood Pl. : Awning Replacement In-Kind
- II. HZ-24-92: 808 Vine St.: Deck and Railing Replacement In-Kind
- III. HZ-24-94: 1620 W. 53rd St. : COA Renewal
- IV. HZ-24-98: 838 Vine St.: Window and Door Repair



Old Business

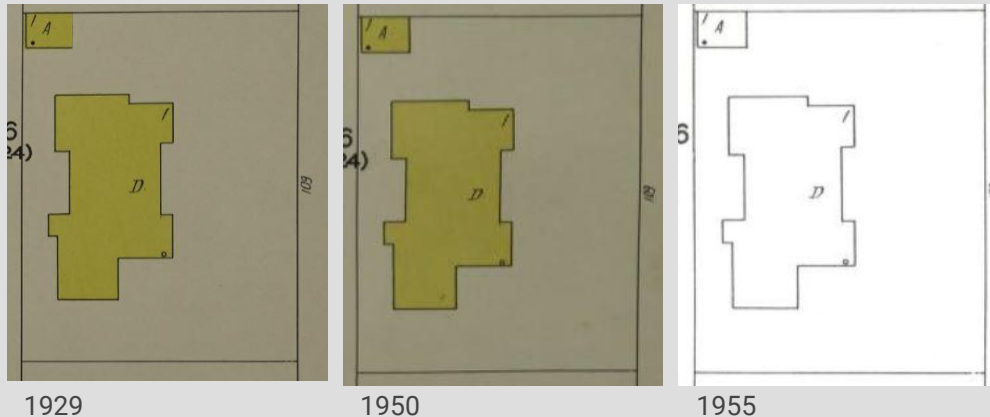
Case # HZ-23-128

109 Morningside Drive

Neighborhood: Ferger Place

Historic Structure: Yes, ca.1920 designed by Chattanooga architect, Clarence Jones

Description of proposed project: COA Revisions: Roof, Porch, Gutters



Historic Zoning History:

HZ-00-018: Repair and replace windows as needed w/ multi-pane wood sash on front and side facades (2) replace non-historic front doors with half-glass multi-paned doors. 3) Install canvas awning over front porch (4) Install HVAC unit on southwest side elevation with landscape screening

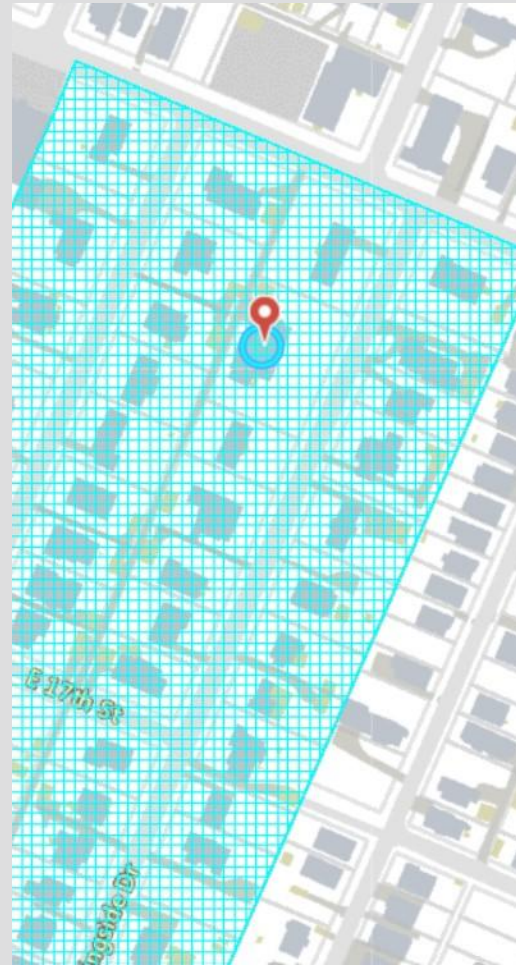
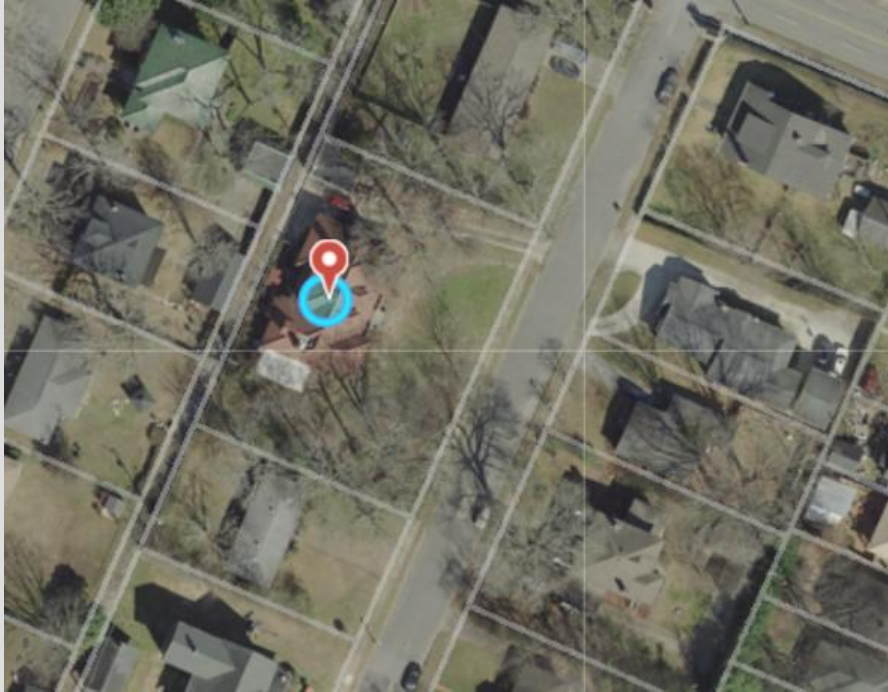
HZ-05-047: Portable outbuilding/storage building (wood 1'x16') to be placed in footprint of a previous garage. Storage building to remain for 1 year (until July 31, 2006)

HZ-07-006: construction of a two-car garage on existing foundation; installation of driveway from morningside dr.- 2 stamped concrete strips; replacement of windows on south elevation of sunroom

Map Location

Case # HZ-23-128

109 Morningside Dr.



Property Photos

Case # HZ-23-128

109 Morningside Dr.



Property Photos

Case # HZ-23-128

109 Morningside Dr.



Property Photos

Case # HZ-23-128

109 Morningside Dr.



Neighboring Property Photos

Case # HZ-23-128
109 Morningside Dr.



Neighboring Property Photos

Case # HZ-23-128
109 Morningside Dr.



Neighboring Property Photos

Case # HZ-23-128
109 Morningside Dr.

adjacent properties



113 Morningside



104 Morningside



101 Morningside



110 Morningside

Application Information

Case # HZ-23-128

109 Morningside Dr.

109 MORNINGSIDE DRIVE

COA UPDATES

finalized materials list and project overview | October 2024



109 MORNINGSIDE DRIVE

overview

FOLLOW UP ON RECOMMENDED MATERIALS FOR
APPROVED COA

- ROOF MATERIAL

REPORT ON EFFECTED AREAS OF WORK

- GUTTERS
- FRONT PORCH/WALKWAY

Application Information

Case # HZ-23-128

109 Morningside Dr.

109 MORNINGSIDE DRIVE

ROOF

material review + precedent

approved materials for consideration

Composite Double Barrel Tile

IN THE SAME SHAPE AND LOOK AS CLAY
TILE



Verea Clay Tile

IN THE SAME SHAPE AND LOOK AS
LUDOWICI TILE



Application Information

Case # HZ-23-128
109 Morningside Dr.

materials for consideration



GAF - TIMBERLINEHDZ | color,
Shalwood

Shingle Roof system

ITALIANE APPROPRIATE ROOFING STYLE

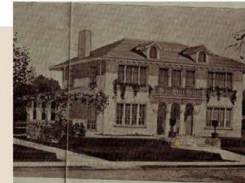


THEN (1912)



Italiane Homes In Ferger Place
EX: Clay Tile roof pictured on 122 Eveningside drive (1920) and
current photo of 122 Eveningside shingle roof (2023)

EX: Clay Tile roof pictured on 107 Eveningside (1912) and photo
of it in shingle roof currently (photo 2019)



NOW (2019)



Application Information

Case # HZ-23-128
109 Morningside Dr.

materials for consideration

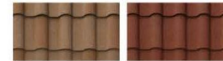


TIMELESS ITALIAN DESIGN

Decra Villa stone coated metal tile roofing is in a class all to itself. A unique hidden fastened design and proven performance merge in a durable walkable roof system. Decra Villa features a vented airspace that insulates to reduce utility costs and 26 gauge steel to handle

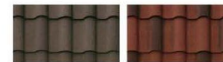
Metal Barrel Tile

IN THE SAME SHAPE AND LOOK AS CLAY
TILE & SYNTHETIC MATERIAL



Amalfi Sand

Capri Clay



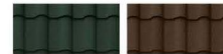
Pompeii Ash

Rustico Clay



Venetian Gold

Tuscan Sun (Special
Order)



Decra Roof Tile + Roa Cleo Metal Tile + Barrel Vault Manufacturers

Application Information

Case # HZ-23-128

109 Morningside Dr.

109 MORNINGSIDE DRIVE

GUTTERS

current materials and replacement system for consideration

materials approved



Exterior Paint Schedule

- EXTERIOR WALLS- China White, BM
- WINDOWS - China White, BM
- EXTERIOR DOORS - Pale Oak, BM



Gutters

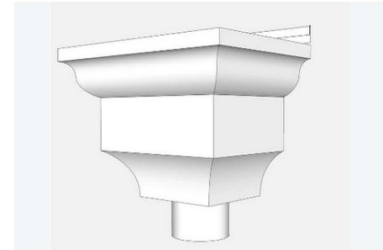
- ALUMINUM, WHITE

Aluminum Gutter System in White + Repaired Corbels

ITALIANTE/ ITALIAN RENAISSANCE APPROPRIATE AESTHETIC

Federal Conductors

- ALUMINUM, White



Application Information

Case # HZ-23-128
109 Morningside Dr.

materials requested to be removed

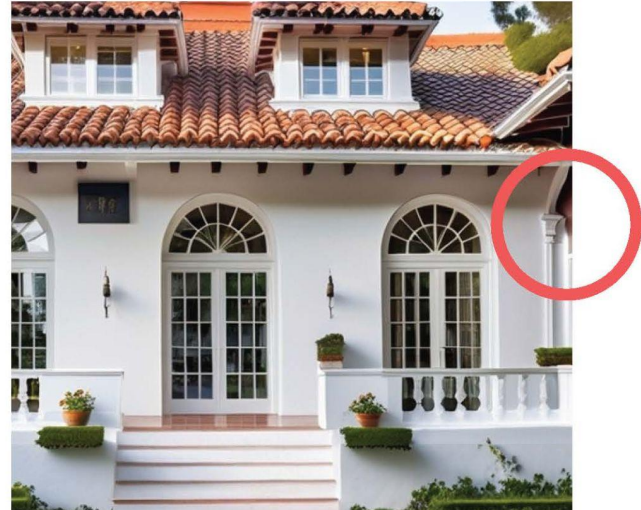
Federal Conductors/Scupper Boxes



CURRENT: Patinated Scupper boxes
for accent color



FUTURE: House will be painted white
and gutters/scupper boxes also white,
losses thei decorative appeal



Application Information

Case # HZ-23-128

109 Morningside Dr.

109 MORNINGSIDE DRIVE

PATIO + SIDEWALK

current materials, roof impacts and goals

109 MORNINGSIDE DRIVE

overview

The original design of the porch has two areas on the front of porch where gutters were carried underneath the porch area and taken below the porch and past the facade. After reviewing the gutter system as we prepare to replace them, we noted that porch gutter system was filled in with concrete at some point in the past.

Our goal is to return the gutter system back to its original design which is below the concrete porch and past the house. We anticipate no issues with this however, should it become one, we wanted to get ahead of any approvals and at this time, present the opportunity to support a porch extension and walkway.

Application Information

Case # HZ-23-128
109 Morningside Dr.

existing photos



Application Information

Case # HZ-23-128

109 Morningside Dr.

current patio + sidewalk



PATIO DIMENSIONS

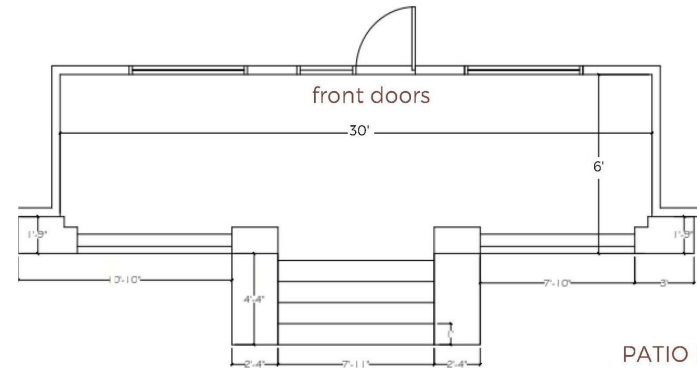
- 6ft x 30ft
- includes decorative corbels
- steps and



SIDEWALK

- currently curves to the steps
- grass and age has made the steps hard to use

current patio + sidewalk

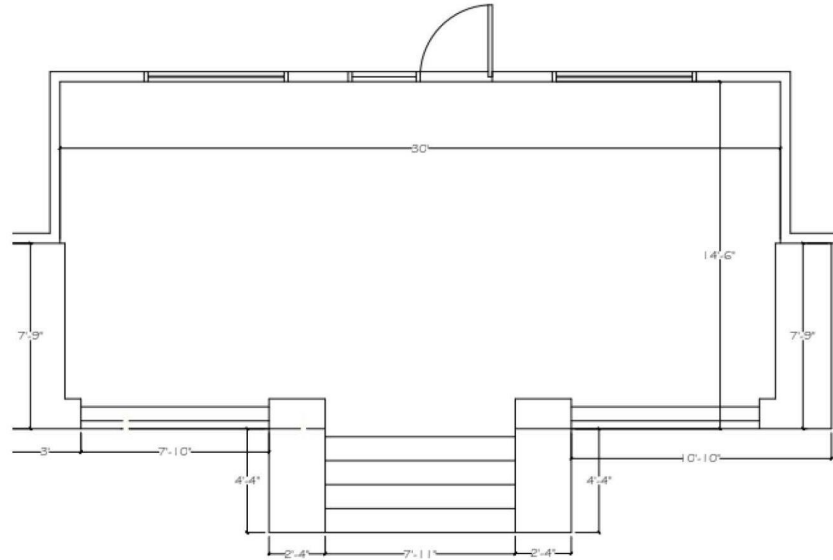


PATIO DIMENSIONS
6' x 30'

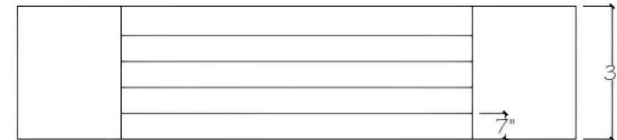
Application Information

Case # HZ-23-128
109 Morningside Dr.

proposed patio dimensions



UPDATED PATIO DIMENSIONS
• 14.6'x30" from 6' x 30'



STAIR ELEVATION

Application Information

Case # HZ-23-128
109 Morningside Dr.

sidewalk/walkway request



UPDATED PATIO DIMENSIONS

- current width - 6ft, with opportunity to extend to up to 8 feet from its current location
- allows for better side entrances with appropriately scaled furniture

GOALS

- Remove water from facade and address steps

MATERIALS - same as current with a request to not replace the red terracotta tiles on front and maintain a simple concrete porch

SIDEWALK

- remove broken stones on current yard
- create a center walkway of similar stone as original (flagstone pictured) with landscaping for clearer entrance and improved curb appeal

Application Information

Case # HZ-23-128
109 Morningside Dr.

future design



Application Information

Case # HZ-23-128

109 Morningside Dr.

109 MORNINGSIDE

additional information

ROOFING COMPANY

Matt Hoover Construction
Matt Hoover, owner
Phone 423. 834.2089

DESIGNER

featherlane design co. llc
Cassie Courtney
cassie@featherlanedesign.com
p: 423.

STRUCTURAL ENGINEER

Colby Butterfield, P.E.
Barnett, Jones, Wilson, LLC
Phone 423-661-7175
Mobile 205-394-4785
Email colby@struct-engr.com
1100 N Market St, Ste 600
Chattanooga, TN 37402

GENERAL CONTRACTOR

ANClark Construction
Amber Clark
p:423.602.3894

Relevant Ferger Place Guidelines:

Case # HZ-23-128, 109 Morningside Dr.

5. Alterations to existing buildings.

A. Roofs, Page 11

B. Entrances, Porches, and Steps, Page 12

Staff Report

A. Roofs and Roofing


1. Original roof pitch, and configuration and shape shall be maintained.
2. Original roof materials and color should be maintained or replaced with materials that visually match the old in size, composition, shape, color, and texture. Other materials may be substituted for original roofing when it is not economically feasible to replace or repair with original materials or when the original roof is beyond repair.
3. The color and texture of the material should be appropriate to the architectural style and period of the house. **The tiles are a character defining feature of the structure. Applicant has provided two new options of roofing materials. Metal barrel tile or shingle roof.**
5. Architectural features that give the roof its essential character should be maintained/retained. Such features include dormers, dormer windows, cornices, brackets, verge boards, exposed rafters, chimneys, finials, weathervanes, soffits, overhangs, friezes, gutters, and downspouts, and any other feature that helps characterize the style of the building.
6. Gutters and downspouts are important to the appearance and maintenance of roofs. The gutter system should be preserved or repaired with matching materials when possible. If replacement is necessary, the materials should be appropriate to the building on which they are located and have the same size, shape, texture, and material as the historic gutter and downspout systems. **The applicant is proposing to replace the existing gutters. Existing is a mix of partial copper on the roof and aluminum gutters painted green. Applicant is proposing white aluminum gutters and removal of the federal conductors.**

Staff Report

Case # HZ-23-128, 109 Morningside Dr.

B. Entrances, Porches, and Steps

1. Porches and steps that are appropriate to the building and its development should be retained. Porches or later additions reflecting later architectural styles are often important to the building's historical integrity in which case they should be retained. **The applicant is proposing to increase the depth of the existing porch with concrete.**
2. Original details and shape - width, roof height, and roof pitch should be retained. **The applicant is proposing to expand the porch with concrete and install a new balustrade and walkway. The renderings show the removal of the existing balustrade. Applicant to confirm and explain proposed materials (rendering and material list are different) The renderings show a different design for the stairs. Applicant to confirm details.**
3. Original porch materials should be preserved or replace when beyond repair. Such materials include wood, terra cotta, tile, slate, brick, marble, stone, and stucco. Other materials may be substituted for these when it is not economically feasible to replace or repair with original materials. **Applicant is requesting to extend porch with concrete and not replace the existing red terracotta tiles.**
4. Original porch details, such as columns, balusters, handrails, pediments, brackets, and roof detail, should be preserved or replaced when beyond repair. **The applicant is proposing to expand the porch with concrete and install a new balustrade and walkway. The renderings show the removal of the existing balustrade. Applicant to confirm and explain proposed materials. The renderings show a different design for the stairs as well. Applicant to confirm details.**
5. The enclosing of front porches is inappropriate and should be avoided.
6. Screening porches is acceptable if the screening does not detract from the character and appearance of the building.
7. The enclosing of side porches may be considered appropriate if the visual openness and character of the porch is maintained.
8. Handicapped ramps should be built on the house in as unobtrusive a place as possible, i.e., if the ramp can be built on the side of the house instead of the front without causing substantial inconvenience to the property owner, then this should be done. Ramps should be screened with vegetation to help them blend in with the house.




Case # HZ-23-128
109 Morningside Dr.

Applicant Presentation (10 minutes maximum)

Case # HZ-23-128
109 Morningside Dr.

Community Comments & Comments by Other Persons (3 minutes maximum per person)





Case # HZ-23-128
109 Morningside Dr.

Applicant Response (5 minute maximum)

**Historic Zoning Commission Discussion
Motion and Vote**

Case # HZ-24-73

4905 Florida Avenue

Neighborhood: St. Elmo

Historic Structure: No, ca. 2017

Description of proposed project: Parking



Historic Zoning History:

HZ-15-11: New Construction

HZ-17-17: Fence

HZ-17-18: Rear Deck

HZ-18-113: Garage, Site Improvements, Rear Door, Gutters

HZ-24-68: Fence + Railroad Tie Wall

Map Location

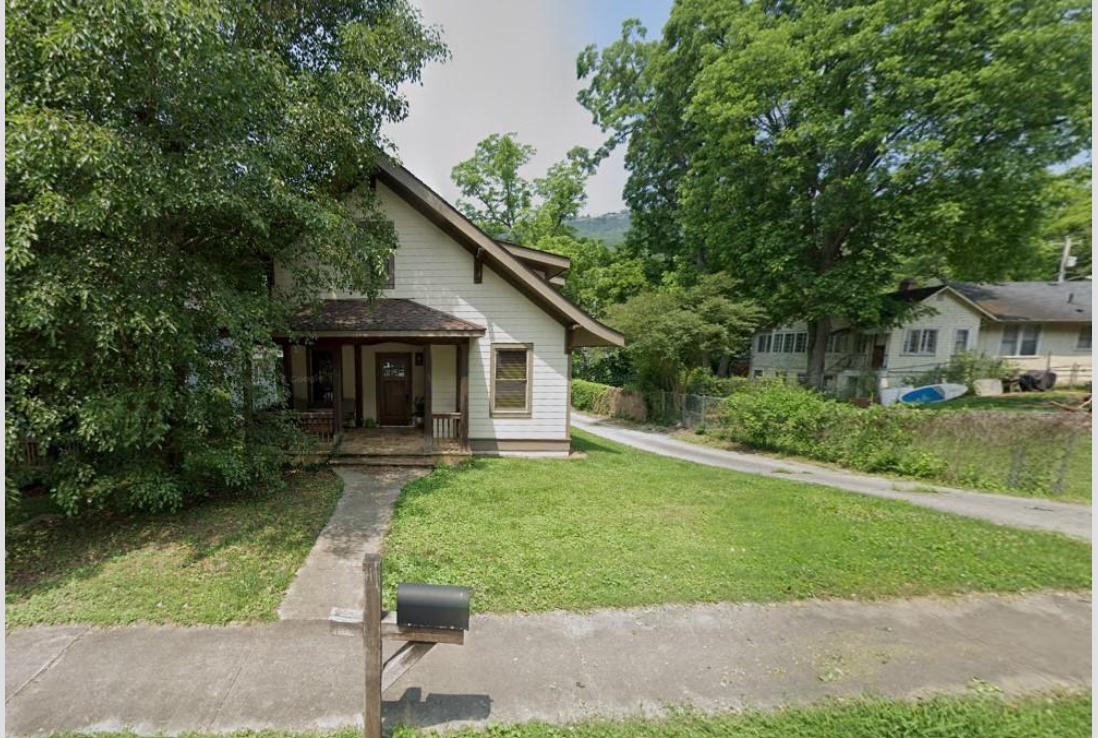
Case # HZ-24-73

4905 Florida Ave.



Property Photos

Case # HZ-24-73
4905 Florida Ave.



Property Photos

Case # HZ-24-73
4905 Florida Ave.



Property Photos

Case # HZ-24-73
4905 Florida Ave.



Property Photos

Case # HZ-24-73
4905 Florida Ave.



Neighboring Property Photos

Case # HZ-24-73
4905 Florida Ave.



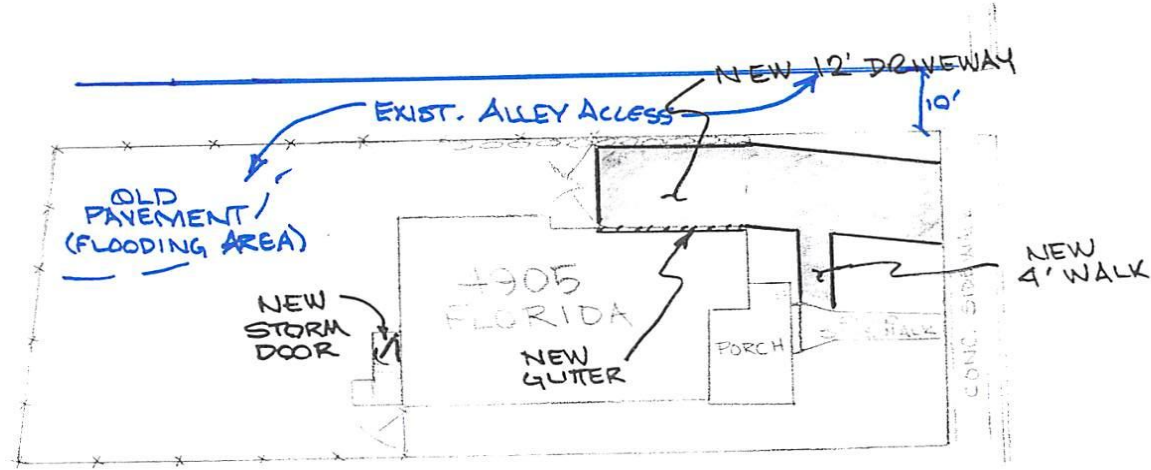
Neighboring Property Photos

Case # HZ-24-73
4905 Florida Ave.



Application Information

Case # HZ-24-73
4905 Florida Ave.

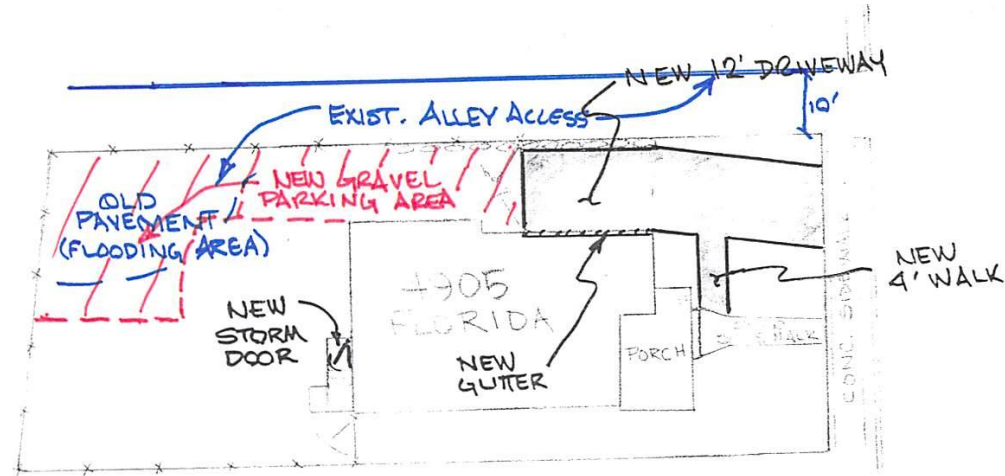


PROPOSED SITE PLAN
1" = 20' dtd 7.18.24
rev. 1 7.24.24

Application Information

Case # HZ-24-73

4905 Florida Ave.



PROPOSED SITE PLAN

1" = 20'

dt'd 7.18.24

rev. 1 7.24.24

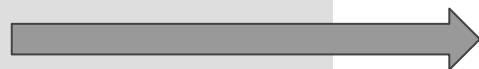
rev. 2 9.20.24

October 2024 Site Plan

Material List

Case # HZ-24-73
4905 Florida Ave.

COA MATERIALS LIST
4905 FLORIDA AVENUE
DRIVEWAY PROJECT
ST. ELMO HISTORIC DISTRICT
CHATTANOOGA HISTORIC PLANNING AND ZONING COMMISSION
SUBMITTED 7.18.2024



1. GRAVEL OR CONCRETE DRIVEWAY (material tbd)
2. STEPPING STONE OR CONCRETE WALKWAY IN FRONT
3. GUTTER AND DOWNSPOUT
4. ALUMINUM FULL VIEW STORM DOOR AT BACK

Relevant Saint Elmo Guidelines:

Case # HZ-24-73, 4905 Florida Ave.

6.9 Driveways & Parking, Page 41

Staff Report

9. Driveways & Paving

Access to the buildings in St. Elmo is generally from rear alleys and new driveways for buildings should also be added at the rear of the lot. The popularity of the Craftsman/Bungalow style coincided with the rise in automobile ownership and many of these dwellings have side lot driveways and original garages. Within the district historic driveway materials such as concrete should be preserved and new driveways should be designed with traditional materials and placement.

A. And their original designs, materials, and placement should be preserved.


B. Which are new, should be located at the rear with access from the alley. **The proposed driveway and parking area are to the side of the dwelling immediately adjacent to an existing alley.**

C. In the front or side yards should be of gravel (white or pea gravel), concrete, or concrete tracks (narrow strips). Blacktop or asphalt driveways may be approved but this material is not traditional to the neighborhood and should be avoided. **The applicant has proposed concrete or gravel for the new driveway and parking area.**

D. Should have their parking areas located in the rear yard nearer the alley than the building and screened with hedges, shrubs, or fences where noticeable from the street. **The proposed driveway and parking area are to the side of the dwelling immediately adjacent to an existing alley.**

E. Of semi-circular design should not be sited in front yards.

F. Requiring new curb cuts to access driveways and parking lots should be kept to a minimum. The addition of curb cuts usually results in the removal of historic sidewalk materials, curbs, and retaining walls. Access through rear alleys is better than adding new curb cuts. Traditional paving materials for driveways include gravel and concrete which are more appropriate materials than aggregate or asphalt. Textured concrete designed to look like brick pavers is also an appropriate material.



Case # HZ-24-73
4905 Florida Ave.

Applicant Presentation (10 minutes maximum)

Case # HZ-24-73
4905 Florida Ave.

Community Comments & Comments by Other Persons (3 minutes maximum per person)





Case # HZ-24-73
4905 Florida Ave.

Applicant Response (5 minute maximum)

**Historic Zoning Commission Discussion
Motion and Vote**



New Business

Case # HZ-23-185

1505 W. 54th Street

Neighborhood: St. Elmo

Historic Structure: Yes, ca. 1935

Description of proposed project: Parking



Historic Zoning History:

HZ-17-120: Exterior Rehabilitation (shingles, windows, etc.)

HZ-17-134: Window replacement

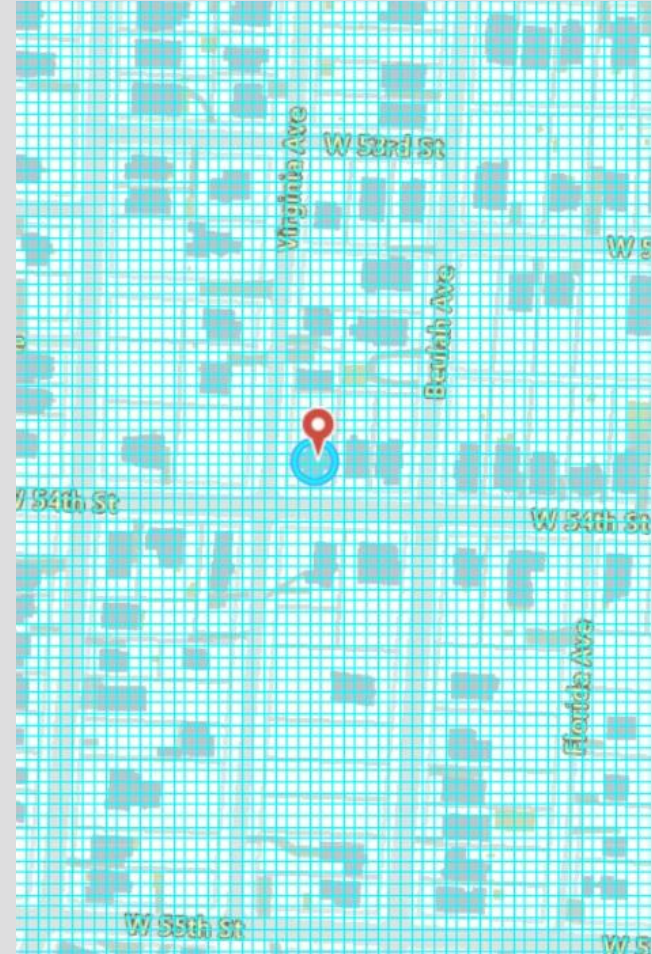
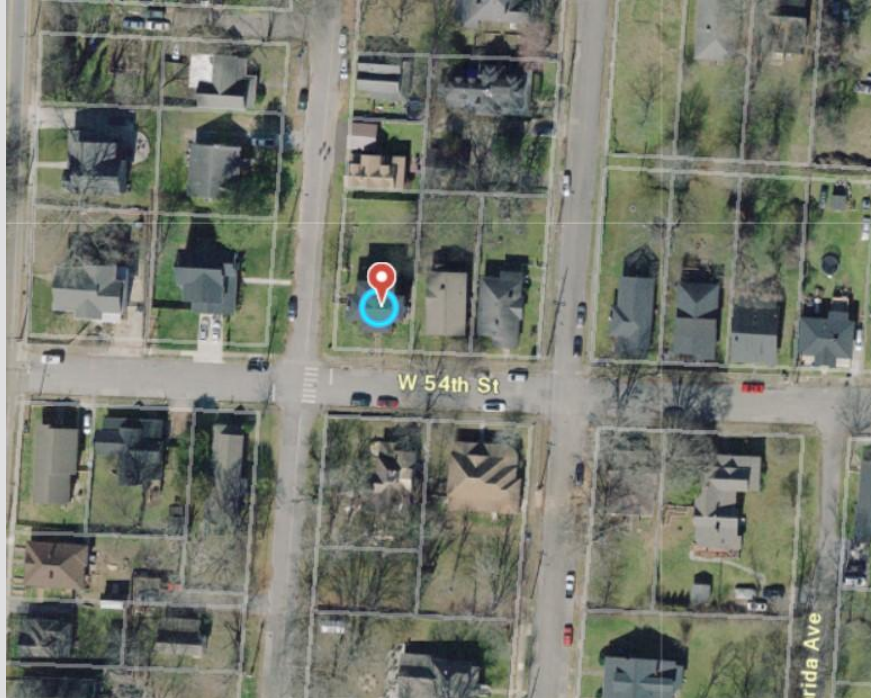
HZ-21-79: Fence

HZ-21-159: Fence

Map Location

Case # HZ-23-185

1505 W. 54th St.



Property Photos

Case # HZ-23-185

1505 W. 54th St.



Property Photos

Case # HZ-23-185

1505 W. 54th St.



Neighboring Property Photos

Case # HZ-23-185

1505 W. 54th St.



Neighboring Property Photos

Case # HZ-23-185

1505 W. 54th St.



Application Information

Case # HZ-23-185

1505 W. 54th St.



Application Information

Case # HZ-23-185

1505 W. 54th St.



Relevant St. Elmo Guidelines:

Case # HZ-23-185, 1505 W. 54th St.


6.9 Driveways & Paving, Page 41

Staff Report

9. Driveways & Paving

Access to the buildings in St. Elmo is generally from rear alleys and new driveways for buildings should also be added at the rear of the lot. The popularity of the Craftsman/Bungalow style coincided with the rise in automobile ownership and many of these dwellings have side lot driveways and original garages. Within the district historic driveway materials such as concrete should be preserved and new driveways should be designed with traditional materials and placement.

- A. And their original designs, materials, and placement should be preserved. **The applicant is proposing to install a river rock parking area at the front of the lot.**
- B. Which are new, should be located at the rear with access from the alley. **The applicant is proposing to install a river rock parking area at the front of the lot. The lot does not have alley access, but parking areas could potentially be accessed off of Virginia Ave.**
- C. In the front or side yards should be of gravel (white or pea gravel), concrete, or concrete tracks (narrow strips). Blacktop or asphalt driveways may be approved but this material is not traditional to the neighborhood and should be avoided. **The applicant is proposing light colored river rock.**
- D. Should have their parking areas located in the rear yard nearer the alley than the building and screened with hedges, shrubs, or fences where noticeable from the street.
- E. Of semi-circular design should not be sited in front yards.
- F. Requiring new curb cuts to access driveways and parking lots should be kept to a minimum. The addition of curb cuts usually results in the removal of historic sidewalk materials, curbs, and retaining walls. Access through rear alleys is better than adding new curb cuts. Traditional paving materials for driveways include gravel and concrete which are more appropriate materials than aggregate or asphalt. Textured concrete designed to look like brick pavers is also an appropriate material.




Case # HZ-23-185
1505 W. 54th St.

Applicant Presentation (10 minutes maximum)

Case # HZ-23-185
1505 W. 54th St.

Community Comments & Comments by Other Persons
(3 minutes maximum per person)





Case # HZ-23-185
1505 W. 54th St.

Applicant Response (5 minute maximum)

**Historic Zoning Commission Discussion
Motion and Vote**

Case # HZ-24-86

1505 W. 54th Street

Neighborhood: St. Elmo

Historic Structure: Yes, ca. 1935

Description of proposed project: Shed



Historic Zoning History:

HZ-17-120: Exterior Rehabilitation (shingles, windows, etc.)

HZ-17-134: Window replacement

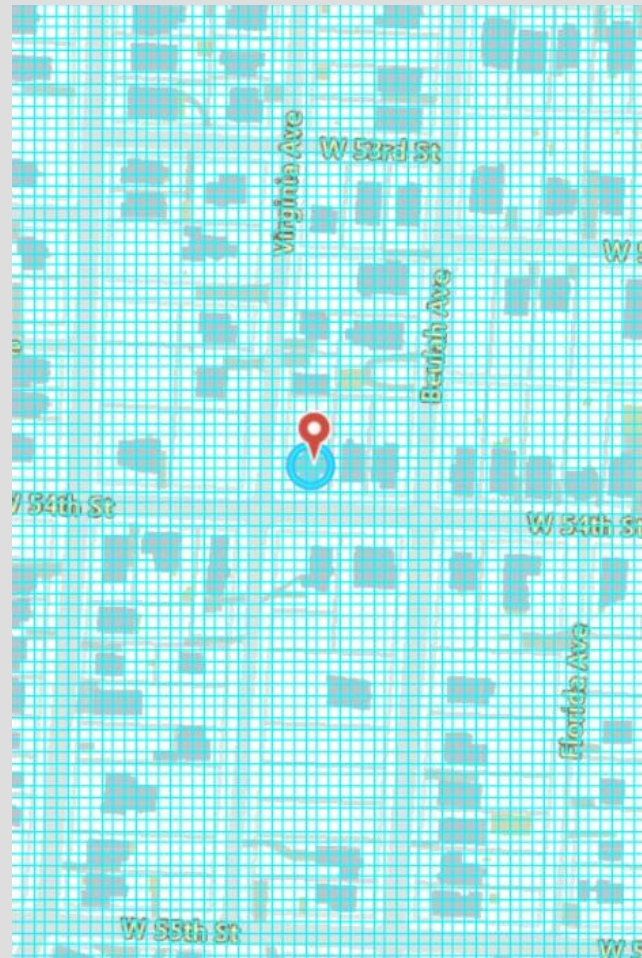
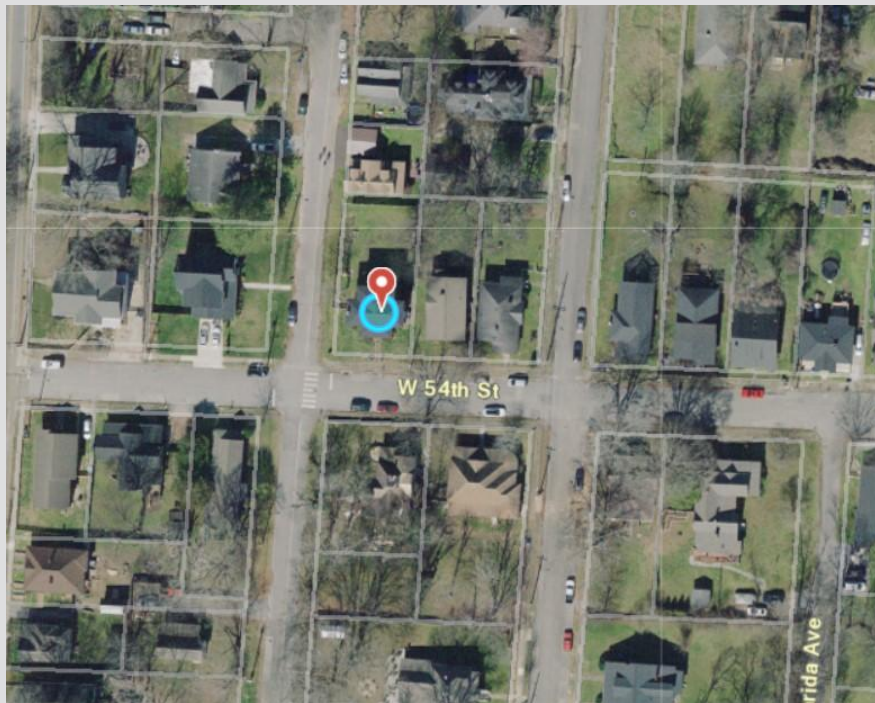
HZ-21-79: Fence

HZ-21-159: Fence

Map Location

Case # HZ-24-86

1505 W. 54th St.



Property Photos

Case # HZ-24-86
1505 W. 54th St.



Property Photos

Case # HZ-24-86
1505 W. 54th St.



Neighboring Property Photos

Case # HZ-24-86
1505 W. 54th St.



Neighboring Property Photos

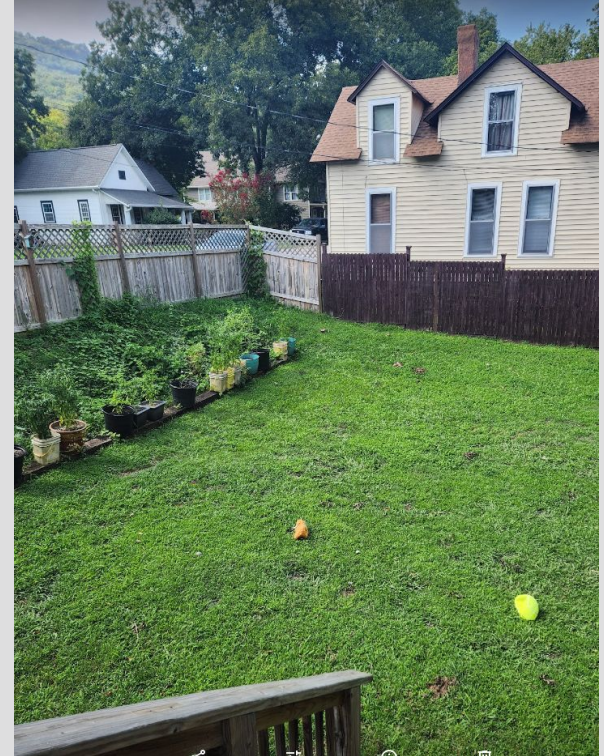
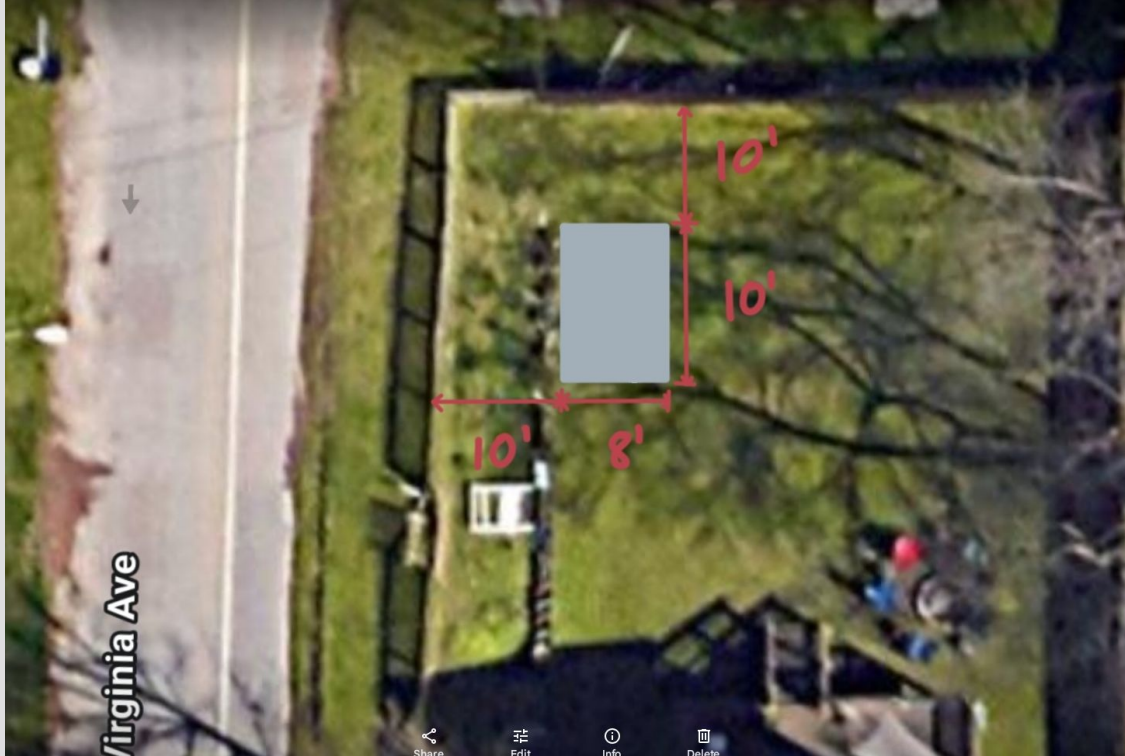
Case # HZ-24-86
1505 W. 54th St.



Application Information

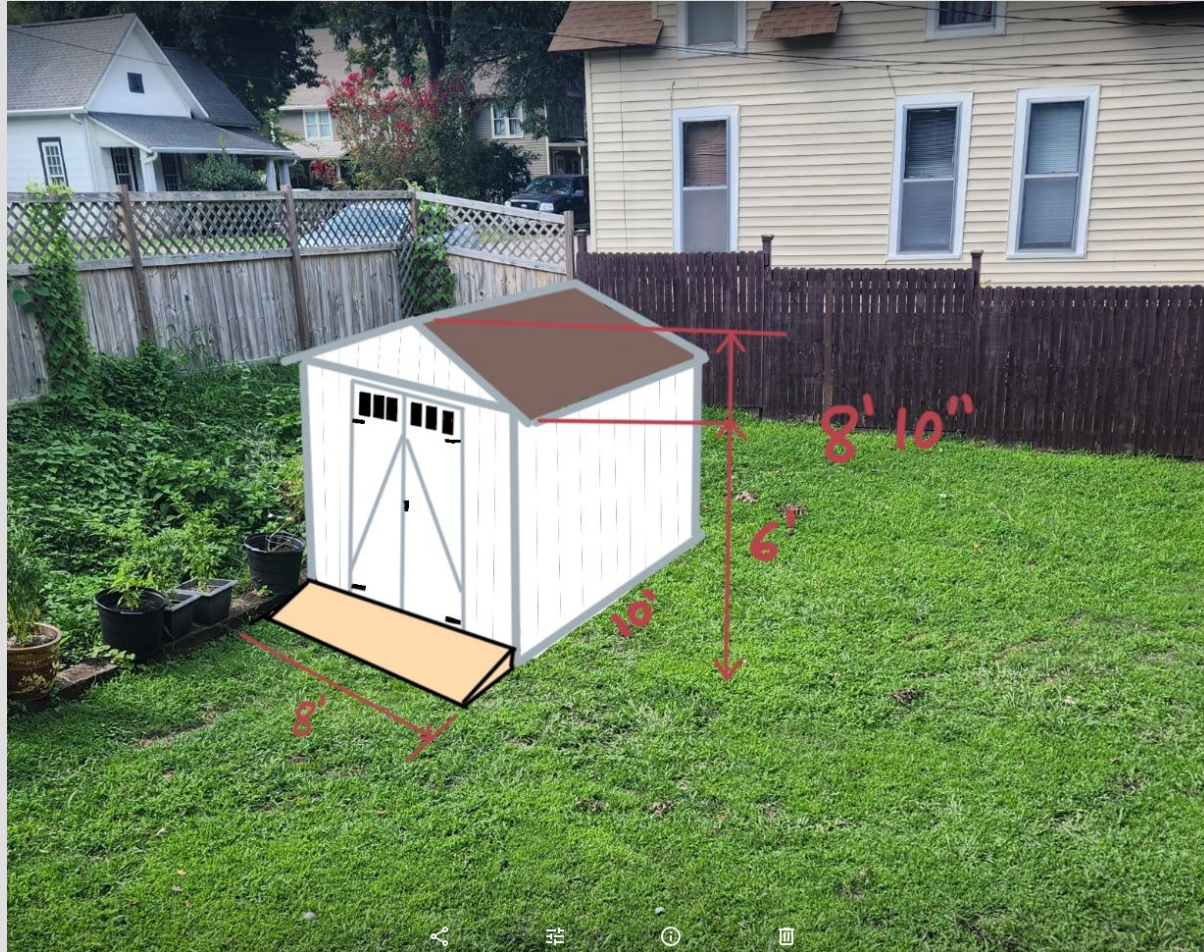
Case # HZ-24-86

1505 W. 54th St.



Application Information

Case # HZ-24-86
1505 W. 54th St.



Case # HZ-24-86
1505 W. 54th St.

1505 W. 54th St.

Midtown Wood Storage Shed

8-ft. x 10-ft.

Cobertizo de almacenamiento de madera - 8 pies x 10 pies

HEARTLAND
AMERICA'S #1 WOOD SHED

Bonus features included

In-door transom windows & ornamental door trim.

Decorative recessed brackets included.

See what you can do with this shed & make it yours with a variety of accessories.

Treated, factory-primed siding

Long-lasting protection from rot, decay and insects.

Sealed openings resist air conditioning loss.

See what you can do with this shed & make it yours with a variety of accessories.

Customize to match your home

Make it your own!

See what you can do with this shed & make it yours with a variety of accessories.

Wide double doors

Easy access for outdoor gear and more.

See what you can do with this shed & make it yours with a variety of accessories.

See Specs Here

Shop the entire Wood Storage Shed selection.

10-yr Limited transferable warranty

Resistant to termites

Lockable doors

Do-It-Yourself

See what you can do with this shed & make it yours with a variety of accessories.

Professionally Installed

Instalado profesionalmente

See what you can do with this shed & make it yours with a variety of accessories.

Relevant Saint Elmo Guidelines:


Case # HZ-24-86, 1505 W. 54th St.

6.22.C New Construction, Page 52

Staff Report

C. Of secondary buildings such as garages, carports, and other outbuildings should be:

1. Smaller in scale than the primary building; **Yes.**
2. Simple in design but reflecting the general character of the primary building. For example, use gable roof forms if the main dwelling has a gable roof, hipped roof forms if the main dwelling has a hipped roof etc.; **The primary dwelling has a hipped roof. The prefabricated shed has a gable roof, but will not be visible from the street due to the existing privacy fence.**
3. Located as traditional for the street, near an alley or at the side of the dwelling, not close to or attached to the primary building; **Yes, the proposed outbuilding is to the rear of the primary dwelling.**
4. Compatible in design, shape, materials, and roof shape to the main building.
5. Preferably of wood siding. However, if located along rear alleys or towards the rear of the lot, secondary buildings may have exterior siding materials such as masonite (preferred), aluminum, or vinyl. Along rear alleys or rear lot lines, standard prefabricated buildings are also acceptable. **The shed is proposed in the rear yard and will not be visible from the street.**
6. If readily visible from the street, secondary buildings should have an emphasis on historic designs and detailing. For garages, wood paneled doors are more appropriate than paneled doors of vinyl, aluminum, or steel. Wood paneled overhead roll-up doors are widely available and are appropriate for new garages. **The shed will not be visible from the street.**




Case # HZ-24-86
1505 W. 54th St.

Applicant Presentation (10 minutes maximum)

Case # HZ-24-86
1505 W. 54th St.

Community Comments & Comments by Other Persons
(3 minutes maximum per person)





Case # HZ-24-86
1505 W. 54th St.

Applicant Response (5 minute maximum)

**Historic Zoning Commission Discussion
Motion and Vote**

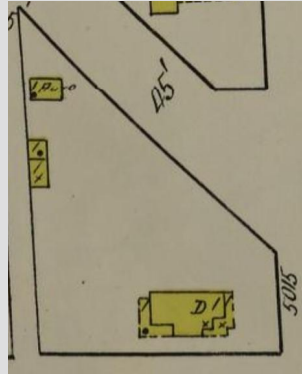
Case # HZ-24-93

5015 St. Elmo Ave.

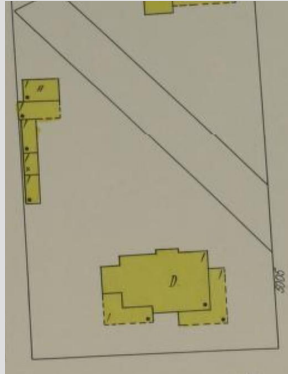
Neighborhood: St. Elmo

Historic Structure: Yes, ca. 1920

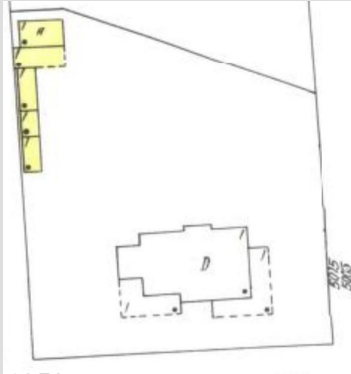
Description of proposed project: Deck/Porch



1917



1930



1950



Historic Zoning History:

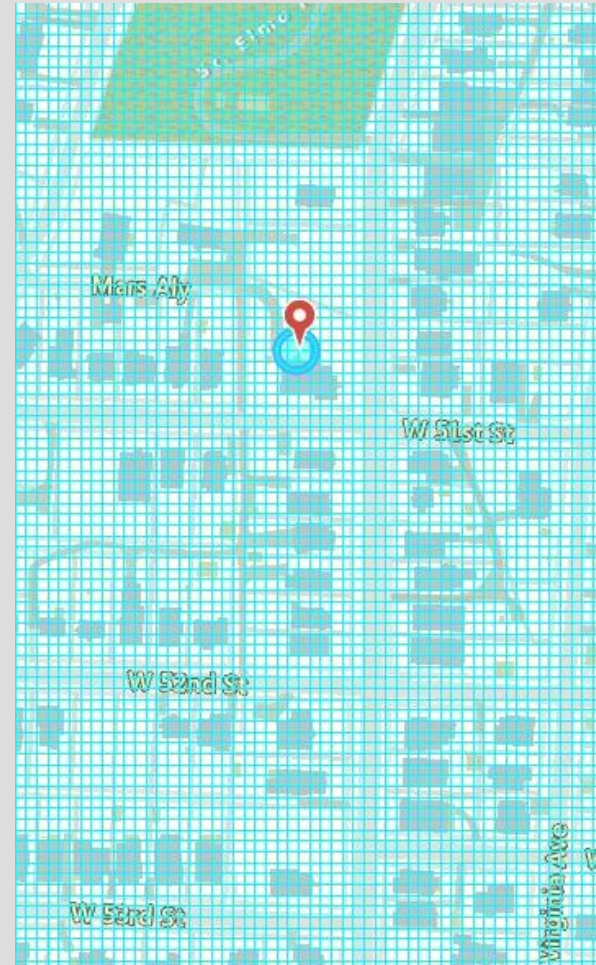
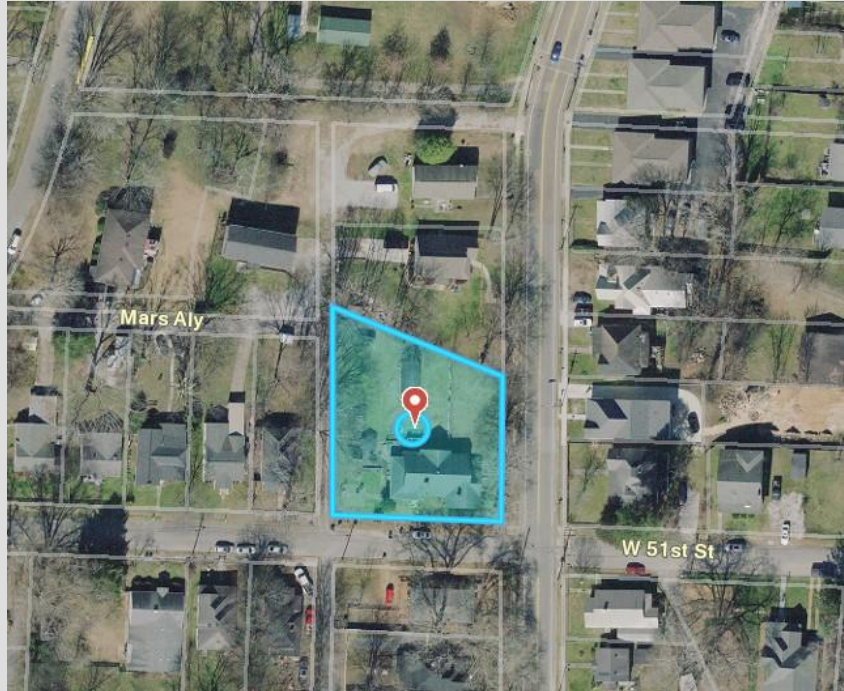
HZ-22-49: Roof replacement

HZ-24-64: Addition

Map Location

Case # HZ-24-93

5015 St. Elmo Ave.



Property Photos

Case # HZ-24-93
5015 St. Elmo Ave.



Property Photos

Case # HZ-24-93
5015 St. Elmo Ave.



Property Photos

Case # HZ-24-93
5015 St. Elmo Ave.



Neighboring Property Photos

Case # HZ-24-93
5015 St. Elmo Ave.

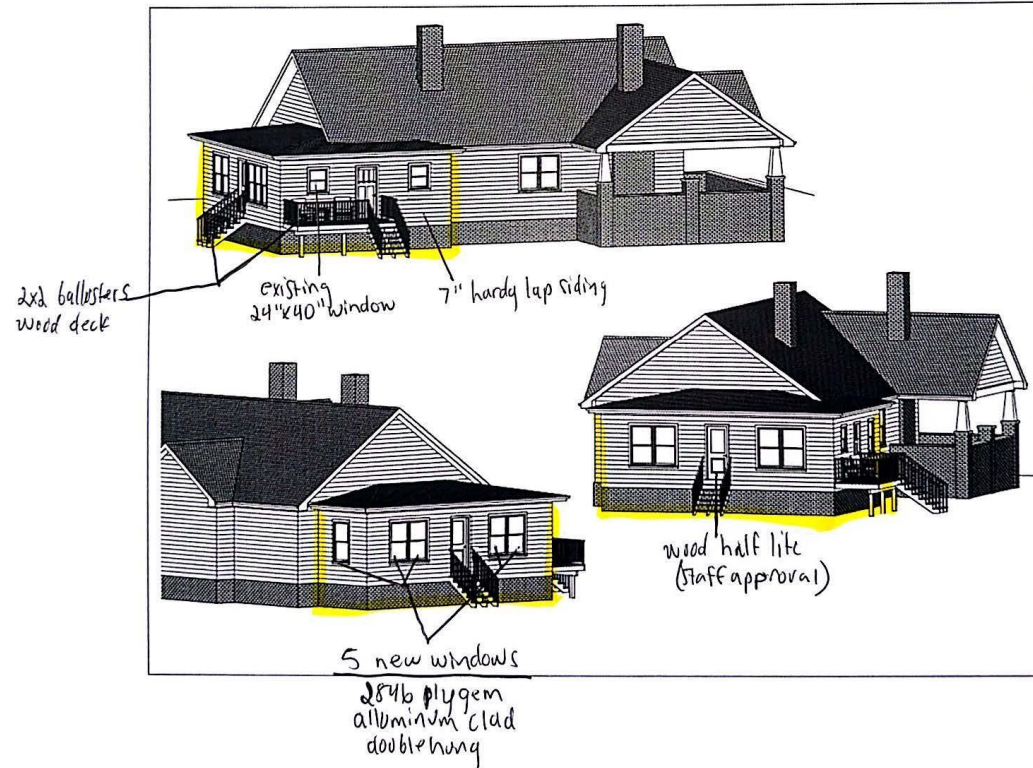


Application Information

Case # HZ-24-93

5015 St. Elmo Ave.

Previously
approved addition
from July 2024



Application Information

Case # HZ-24-93

5015 St. Elmo Ave.

SCALE: 1/4" = 1' WHEN PRINTED ON 11X17 PAPER

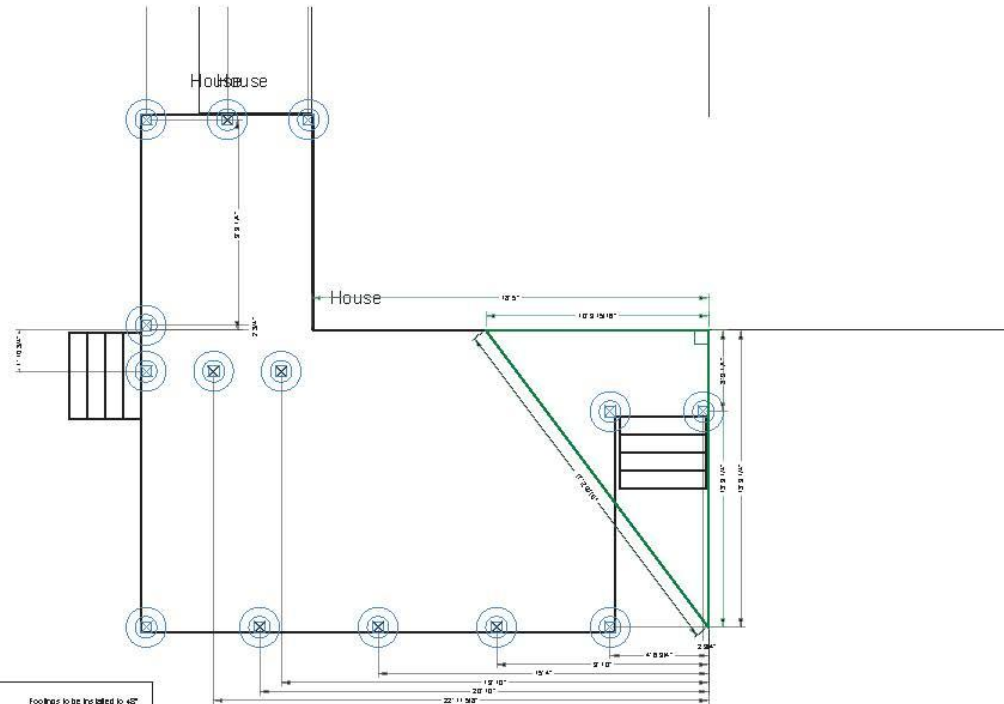
BASED ON THE INTERNATIONAL RESIDENTIAL CODE

STAIR FOOTING REQUIREMENTS
WHERE THE STAIRWAY MEETS GRADE, ATTACH THE STAIR
STRINGERS TO THE STAIR GUARD RAIL POSTS. POSTS SHALL
BEAR ON FOOTINGS

 Total Depth: 48"
Base Diameter: 22"
Pier Diameter: 12"

Footings to be installed to 48" depth as is required by your local building ordinance. Frost footing sites based on 66 lbs per square foot tributary loads applied to 1500 psi soil compression capacity (assumed dry soil). See footing detail in deck construction guide.

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DISCLAIMER: USE ONLY 2,500 PSI CONCRETE FOR A FROST FOOTING
TO BRIDGES.

Footings to be installed to 48" depth as is required by your local building ordinance.
Frost footing sizes based on 66 lbs per square foot tributary loads applied to 1500 psi soil compression capacity (assumed dry soil).
See footing detail in deck construction guide.



Application Information

Case # HZ-24-93

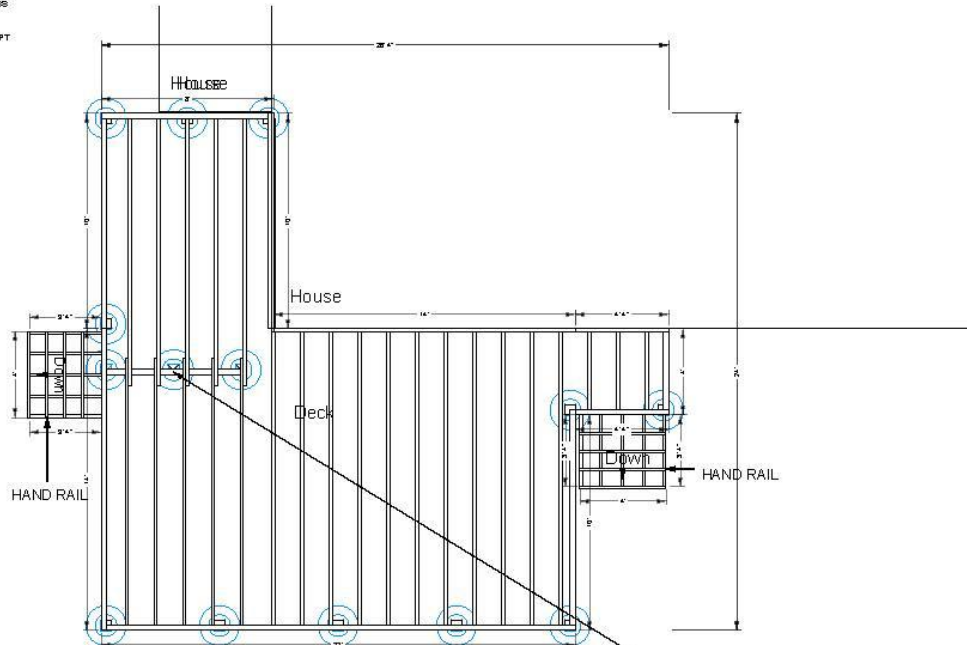
5015 St. Elmo Ave.

SCALE: 1/4" = 1' WHEN PRINTED ON 11X17 PAPER

BASED ON THE INTERNATIONAL RESIDENTIAL CODE

STAIRWAY ILLUMINATION: ALL EXTERIOR STAIRWAYS SHALL BE ILLUMINATED AT THE TOP LANDING TO THE STAIRWAY. ILLUMINATION SHALL BE CONTROLLED FROM INSIDE THE DWELLING OR AUTOMATICALLY ACTIVATED.

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Total depth: 48"
Base frame br: 22"
Riser frame br: 12"

Footings to be installed to 48" depth in soil is required by your local building ordinance. Frost footing sizes based on 95 lbs per square foot tributary loads applied to 1000 psi soil compression capacity (assumed dry soil). See footing detail in deck construction guide.

DISCLAIMER: ONLY USE #2 OR A BETTER PRESSURE TREATED SOUTHERN PINE 2X10 FOR FRAMING MATERIALS. NEVER SUBSTITUTE SOFTWOODS OR COMPOSITE FOR FRAMING MATERIALS.

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2x10 Ledger Board to be flashed and bolted (2) 1/2" bolts with washers or equivalent every 16" on center. (See ledger detail in deck construction guide)
Joists to be 2x10 pressure treated southern yellow pine installed 16" on center.
Beams to be 2x10 pressure treated southern yellow pine installed 16" on center.
Guard Rails to be 2x10 pressure treated southern yellow pine installed 16" on center.
Stairs to be built to meet 7-3/4" min rise, 4" min run, 10" per IRC code. (See stair detail in deck construction guide)
Decking to be 5/8" x 2" Pressure Treated Pine. (Follow manufacturer's installation instructions)
All hardware to be corrosion resistant and installed per manufacturers' instructions.



Application Information

Case # HZ-24-93

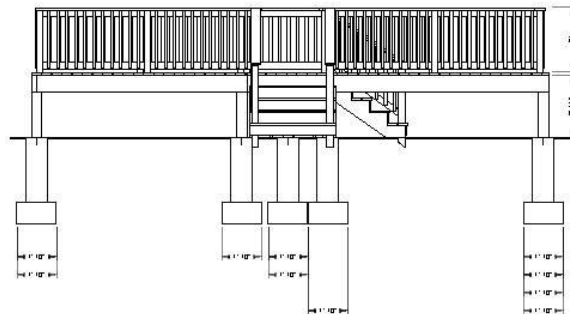
5015 St. Elmo Ave.

SCALE: 1/4" = 1' WHEN PRINTED ON 11X17 PAPER

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DISCLAIMER: ONLY USE #2 OR BETTER PRESSURE TREATED SOUTHERN PINE 2X10 FOR FRAMING MATERIALS. BUILDER SUBSTITUTES OF FRAMING COMPOSITE FOR FRAMING MATERIALS.

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2x10 Ledger Board to be flashed and bolted (2) 1/2" bolts with washers or equivalent every 16" on center. (See ledger detail in deck construction guide)
Joists to be 2x10 pressure treated southern yellow pine installed 16" on center.
Beams to be 2x10 pressure treated southern yellow pine nailed.
Stair stringers to be 2x10 pressure treated southern yellow pine installed 16" on center. (See all detail in deck construction guide)
Stair treads to be 2x10 pressure treated southern yellow pine installed 16" on center. (See all detail in deck construction guide)
Decking to be 5/8x8 Pressure Treated Pine. (Follow manufacturer's installation instructions)
All hardware to be corrosion resistant and installed per manufacturer's instructions.



Application Information

Case # HZ-24-93

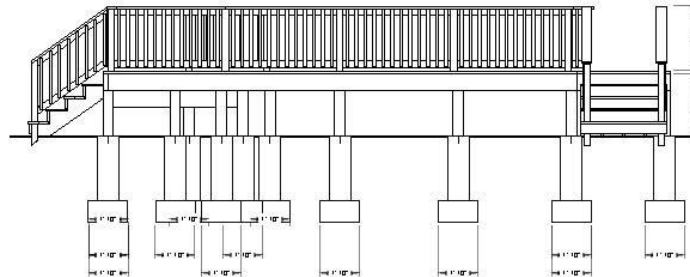
5015 St. Elmo Ave.

SCALE: 1/4" = 1' WHEN PRINTED ON 11X17 PAPER

BASED ON THE INTERNATIONAL RESIDENTIAL CODE

STAIRWAY ILLUMINATION: ALL EXTERIOR STAIRWAYS SHALL BE ILLUMINATED AT THE TOP LANDING TO THE STAIRWAY. ILLUMINATION SHALL BE CONTROLLED FROM INSIDE THE DWELLING OR AUTOMATICALLY ACTIVATED.

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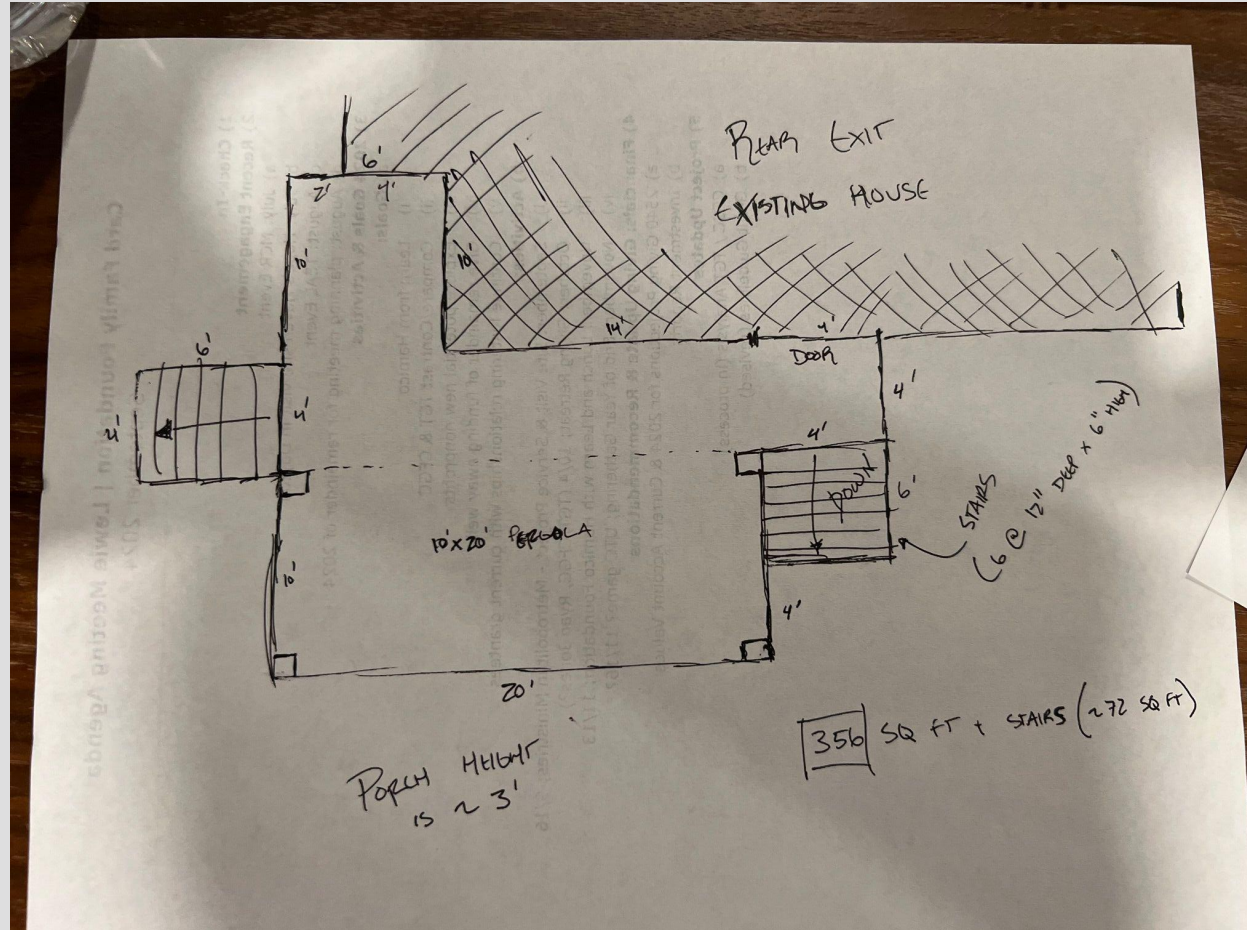
2x10 Ledger Board to be flashed and bolted (2 1/2" bolts with washers or equivalent every 16" on center. (See ledger detail in deck construction guide)
Joists to be 2x10 pressure treated southern yellow pine installed 16" on center.
Beams to be 2x10 pressure treated southern yellow pine nailed.
Guard Rail to be 3x6" high with less than 4" openings per IRC code. (See rail detail in deck construction guide)
Stair to be built max rise 7 3/4" min rise 4" in run 10" per IRC code. (See stair detail in deck construction guide)
Decking to be 3/4" x 6" Pressure Treated Pine. (Follow manufacturer's installation instructions)
All hardware to be corrosion resistant and installed per manufacturer's instructions.



Application Information

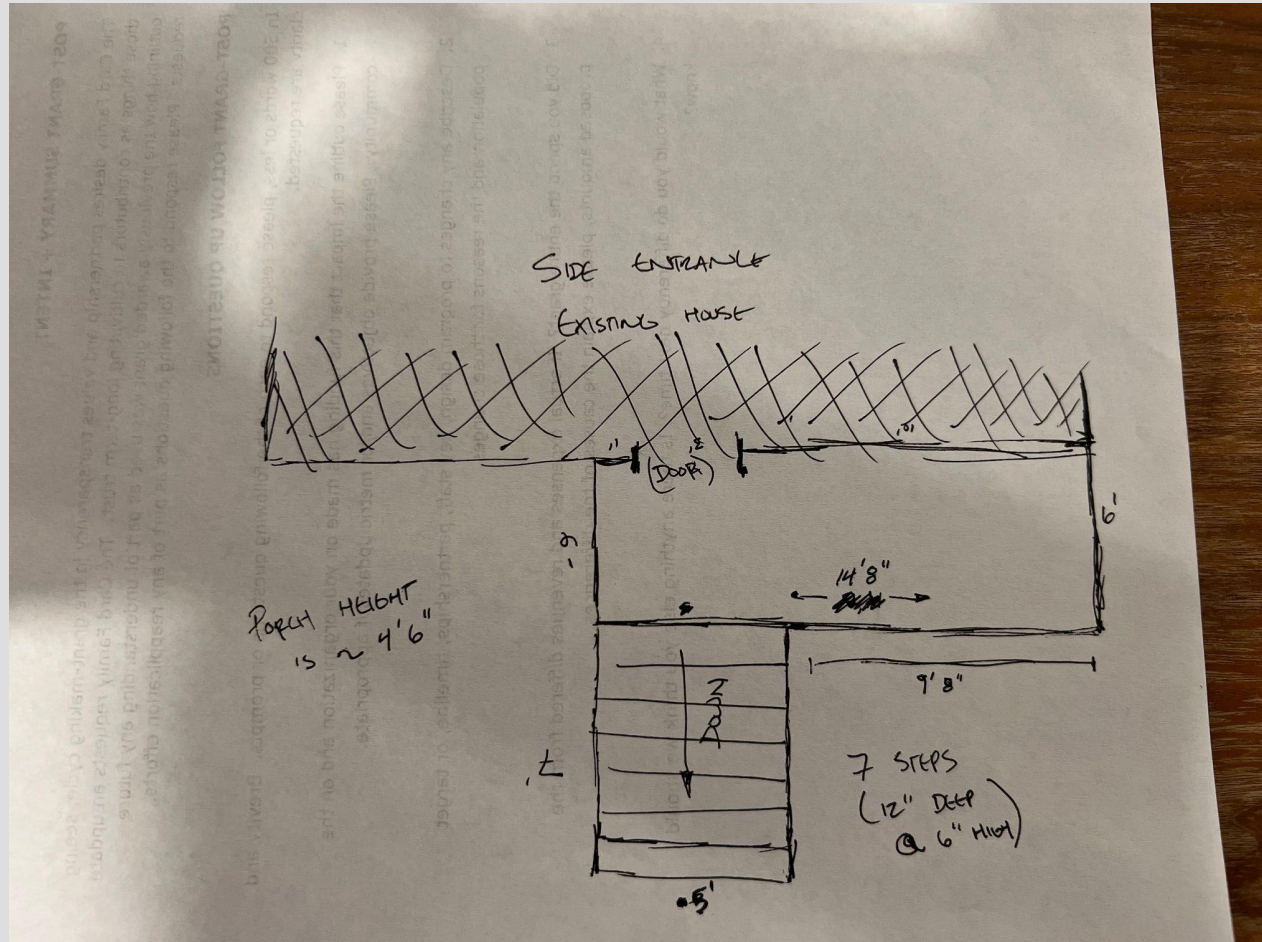
Case # HZ-24-93

5015 St. Elmo Ave.



Case # HZ-24-93
5015 St. Elmo Ave.

5015 St. Elmo Ave.



Application Information

Case # HZ-24-93

5015 St. Elmo Ave.



Material List

Case # HZ-24-93
5015 St. Elmo Ave.

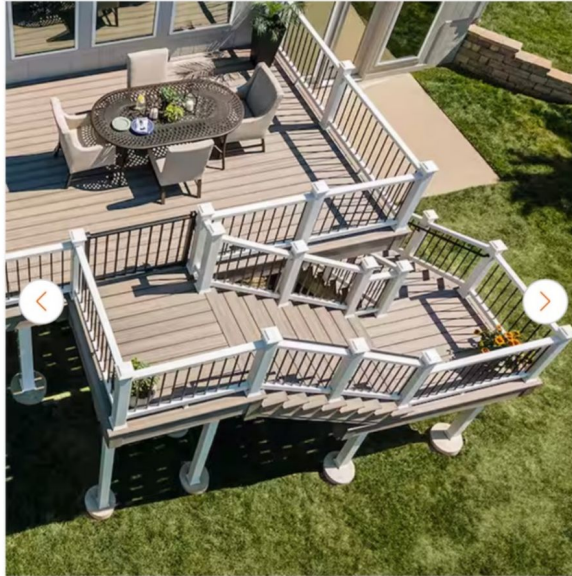
Top Rated

83

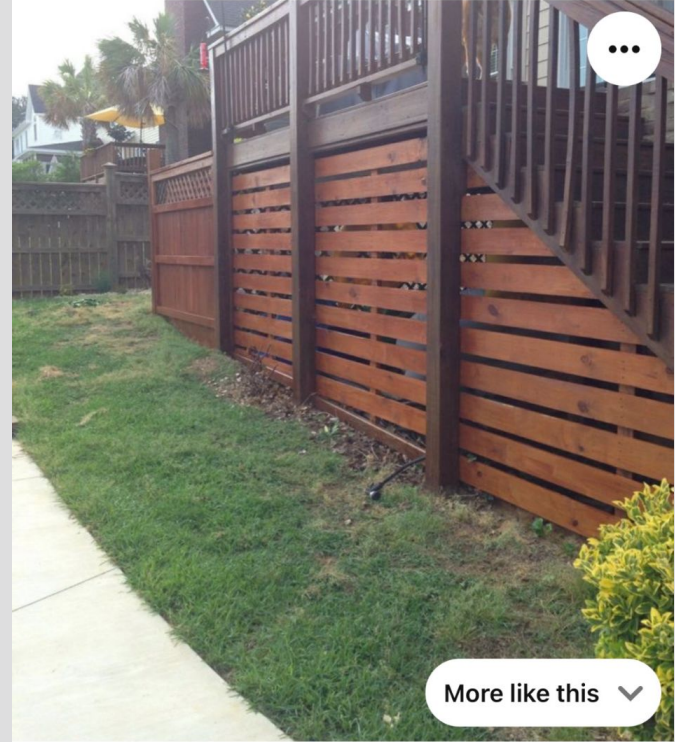
Trex

Enhance Naturals 1 in. x 6 in x 8 ft.
Rocky Harbor Square Edge Grey
Composite Deck Board

★★★★★ (201) ✓



Explore



More like this ✓

Relevant Saint Elmo Guidelines:

Case # HZ-24-93, 5015 St. Elmo Ave.


6.6 Decks, Page 38

Staff Report

6. Decks

Outdoor wood decks are popular additions and can usually work well with older buildings. As in the case of adding rooms, wood decks should be only built at the rear of buildings. Decks on the sides of buildings are also fine if they are not readily visible from the street.

- A. Should be located at the rear of buildings. If built on the side of a building the deck should be screened from street view with fencing and/or native evergreen plants and shrubs. **The applicant is proposing a deck on the side and rear of the recently approved addition. The applicant did not note if there is existing screening for the side porch. The side porch may encroach into the setback off of W. 51st Street. If so, a variance from the Board of Zoning Appeals would be required.**
- B. Should be stained or painted to match or blend with the colors of the building if readily visible from a street view.
- C. Should be simple rather than ornate in design. If readily visible from the street, wood decks are recommended to have square wood balusters set no more than three inches apart. Balusters should be no more than 2” in width and depth. **The drawings seem to show square balusters. Applicant to discuss dimensions and materials. Materials also show horizontal screening beneath the proposed porch.**

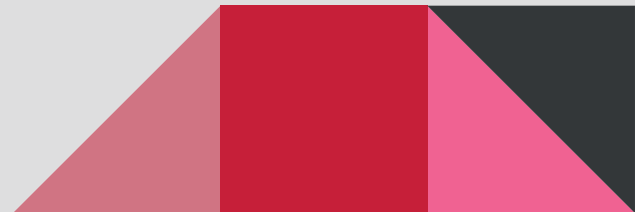



Case # HZ-24-93
5015 St. Elmo Ave.

Applicant Presentation (10 minutes maximum)

Case # HZ-24-93
5015 St. Elmo Ave.

Community Comments & Comments by Other Persons (3 minutes maximum per person)





Case # HZ-24-93
5015 St. Elmo Ave.

Applicant Response (5 minute maximum)

**Historic Zoning Commission Discussion
Motion and Vote**

Case # HZ-24-95

4505 Balcomb Street

Neighborhood: St. Elmo

Historic Structure: Yes, ca. 1945

Description of proposed project: Demolition

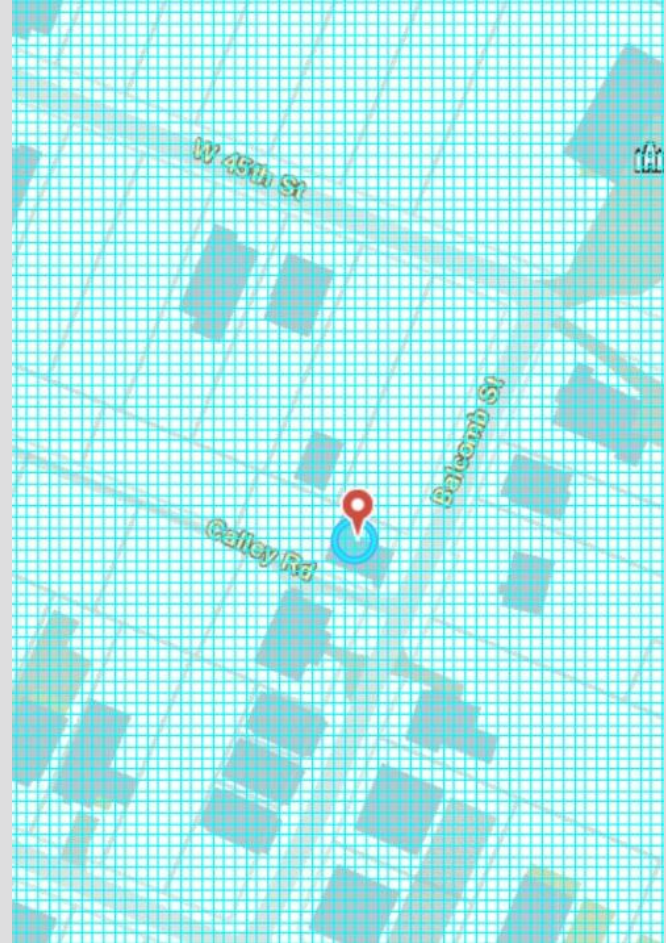
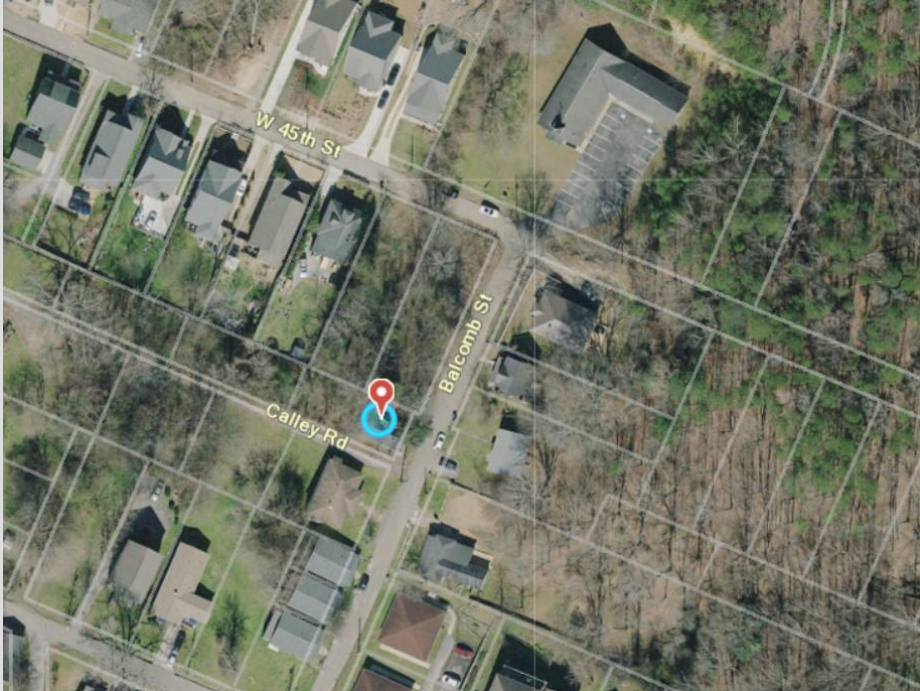


Historic Zoning History:

HZ-22-174: Owner applied for demolition, but application was never completed.

Map Location

Case # HZ-24-95
4505 Balcomb St.



Property Photos

Case # HZ-24-95
4505 Balcomb St.



Property Photos

Case # HZ-24-95
4505 Balcomb St.



Property Photos

Case # HZ-24-95
4505 Balcomb St.



Neighboring Property Photos

Case # HZ-24-95
4505 Balcomb St.



Application Information

Case # HZ-24-95
4505 Balcomb St.

Chattanooga Times Free Press

THANK YOU
FOR YOUR ORDER

Account #: STFP5
Company: FRANCISCO PIZZUTO
Client: FRANCISCO PIZZUTO/ Francisco Pizzuto
Street Address: PO Box 2022
City, State: Chattanooga, TN
Zip Code: 37409-0022
Phone #: 423-653-6873
Credit Code: Pre-payment Required

Ad ID #: 443052
Copy Line: CHATT. 4505 Balcomb St. Home for
Ad Start Date: 9/25/2024
Ad Stop Date: 10/11/2024
Insertions: 34

Order Date: 09/24/2024
Sales Executive: Samara Swafford
Ad taker: SSWAFFORD01

Pay Type: Credit Card
Class: 402
Words: 21
Agate Lines: 4
Columns: 1

Ad Depth: 24
PO#:
Publication Name: TFP Times Free Press, TFP
TimesFreePress.com

Total: [REDACTED]
Payment: [REDACTED]
Balance Due: [REDACTED]

Chattanooga Times Free Press

400 East 11Th Street
Chattanooga, TN 37403

Chattanooga Times Free Press

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FOR YOUR ORDER

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Credit Code: Pre-payment Required

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Publication Name: TFP Times Free Press, TFP
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Total: [REDACTED]
Payment: [REDACTED]
Balance Due: [REDACTED]

Chattanooga Times Free Press

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Application Information

Case # HZ-24-95
4505 Balcomb St.

CHATT. 4505 Balcomb St. Home for Sale.
\$750,000 obo. This is for structure only.
Buyer must move. Contact
imagineh@yahoo.com, (423)653-6873, .

Application Information

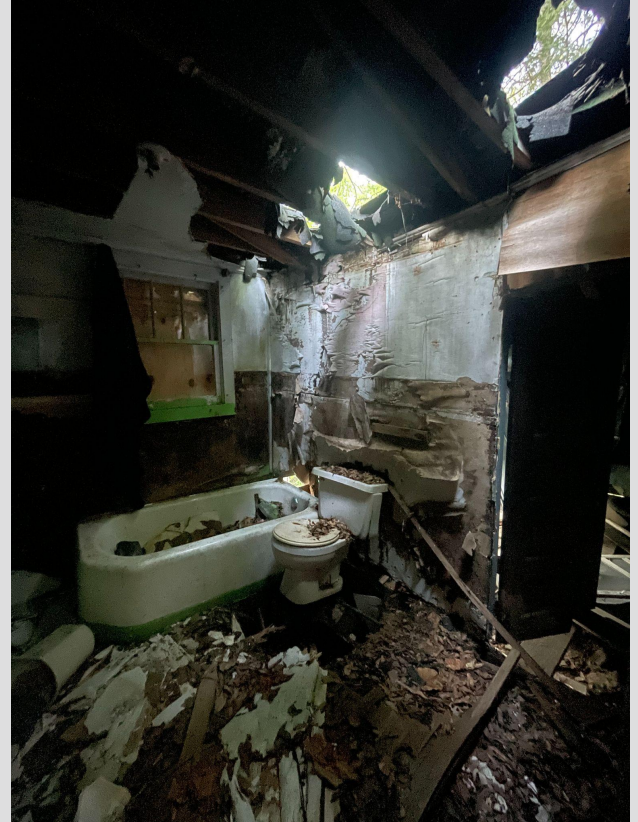
Case # HZ-24-95
4505 Balcomb St.



Application Information

Case # HZ-24-95

4505 Balcomb St.



Application Information

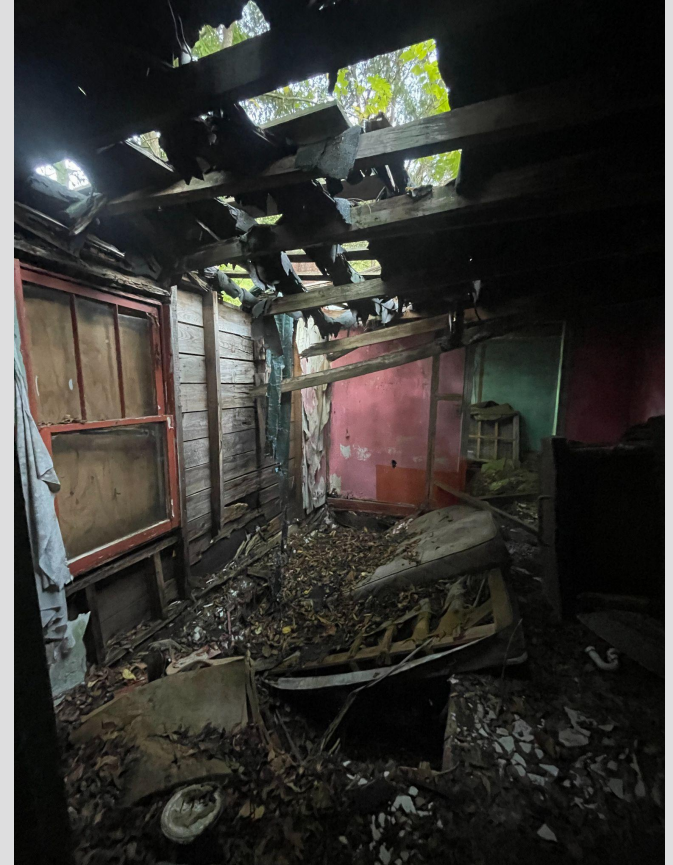
Case # HZ-24-95
4505 Balcomb St.



Application Information

Case # HZ-24-95

4505 Balcomb St.



Relevant Saint Elmo Guidelines:

Case # HZ-24-95, 4505 Balcomb St.

6.7 Demolition, Page 39

Staff Report


Demolition is forever and once a building is gone it takes away another piece of the neighborhood's character. Demolition of a historic building which has most of its original design and features should only be an action of last resort.

A. Of any original feature or part of a historic building should be avoided.

B. Of a building which contributes to the historic or architectural significance of the St. Elmo Historic District should not occur, unless:

1. Public safety and welfare requires the removal of the building or structure; **City of Chattanooga Code Enforcement has issued a demolition order on the structure.**
2. If a building has lost its architectural and historical value and its removal will improve the appearance of the neighborhood;
3. If a building does not contribute to the historical or architectural character and importance of the district and its removal will improve the appearance of the neighborhood; **The property is not listed as contributing in the National Register Nomination.**
4. If the denial of the demolition will result in an economic hardship on the applicant as determined by Section VIII of the Ordinance.

C. Of pre-1945 secondary buildings (garages, etc.) may be appropriate if substantially deteriorated (requiring 50% or more replacement of exterior siding, roof rafters, surface materials, and structural members).

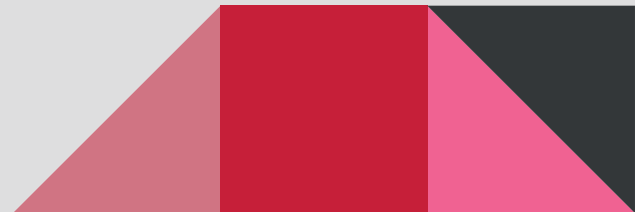



Case # HZ-24-95
4505 Balcomb St.

Applicant Presentation (10 minutes maximum)

Case # HZ-24-95
4505 Balcomb St.

Community Comments & Comments by Other Persons (3 minutes maximum per person)





Case # HZ-24-95
4505 Balcomb St.

Applicant Response (5 minute maximum)

**Historic Zoning Commission Discussion
Motion and Vote**

Case # HZ-24-96

4425 Seneca Avenue

Neighborhood: St. Elmo

Historic Structure: Yes, ca. 1930

Description of proposed project: Window Replacement

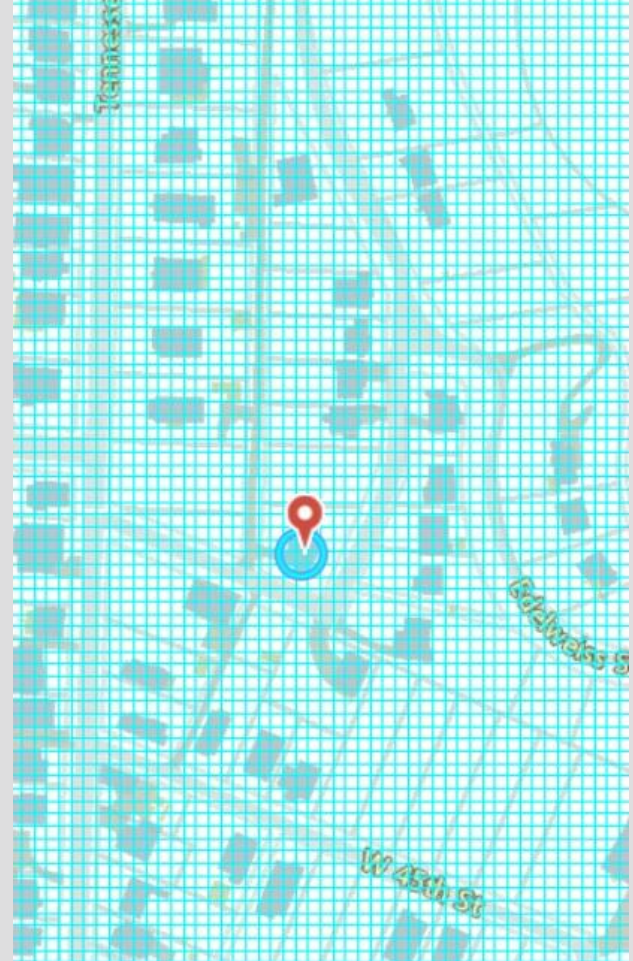
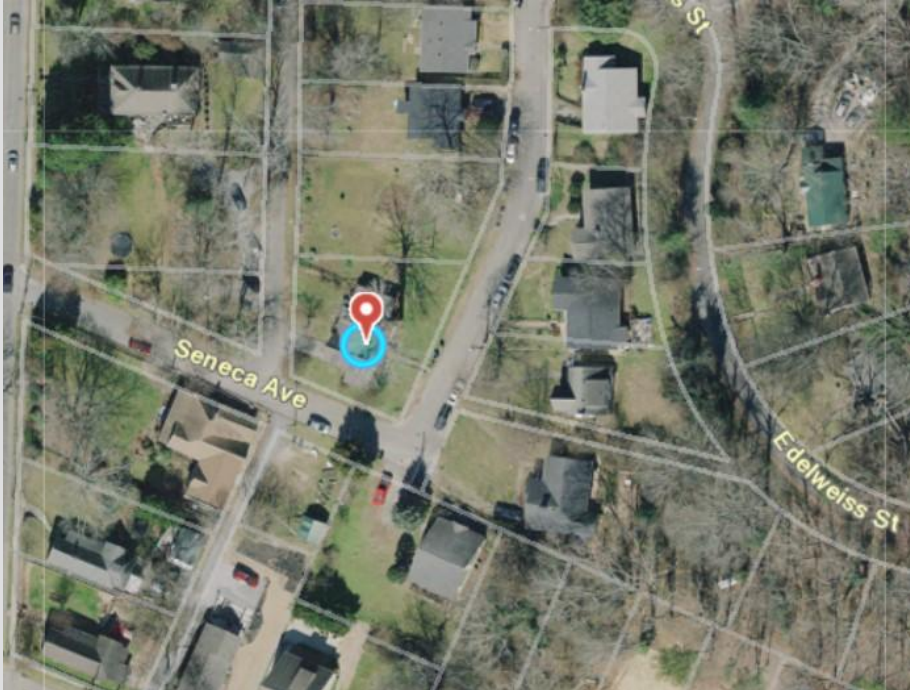


Historic Zoning History:

HZ-23-58: In-kind repairs of existing siding

Map Location

Case # HZ-24-96
4425 Seneca Ave.



Property Photos

Case # HZ-24-96
4425 Seneca Ave.



Property Photos

Case # HZ-24-96
4425 Seneca Ave.



Property Photos

Case # HZ-24-96
4425 Seneca Ave.



Neighboring Property Photos

Case # HZ-24-96
4425 Seneca Ave.



Neighboring Property Photos

Case # HZ-24-96
4425 Seneca Ave.



Application Information

Case # HZ-24-96

4425 Seneca Ave.

My name is Greer Hampton and I am a first time homeowner that has recently settled in historic St. Elmo. I bought this home for the unique character it had and the community around it.

I did not expect the circumstances that would lead me to the decision to replace my windows. After a short time of living here I was faced with a rather large bug problem in every corner of my home. I quickly realized it was due to large gaps in the structure of the windows that no amount of pest control techniques were going to manage. The next problem became evident when it rained, which happened frequently in the recent months. I noticed that several windows were leaking and allowing water inside my home. This damaged the window itself, the drywall around it, and even the floors in some rooms. The only windows that aren't leaking or allowing bugs into the home are the ones that are painted shut, posing a potential fire hazard.

My problem with the windows was one that I thought could be easy to fix. Replacing the windows was not only going to increase the value of my home, but also provide me with peace of mind as to my safety and security while I live here. My focus of this project was to improve the safety and quality of the home. I did not consider that the outside of the windows would raise concerns about the historic quality of the home, because, as I said, I was only thinking about the benefits for the inside.

I apologize for my oversight and starting this project without going through the appropriate channels. This is a mistake that I will not make again. My main concern now is rectifying the situation as best I can. My contractor had no knowledge of the need for a certificate of appropriateness and showed me that they have replaced windows on my street with comparable windows. I am hopeful that I can be approved for this certificate as other homes have similar windows installed. Construction has been stopped and no new windows have been put in since this has been brought to my attention. I have attached a picture of the front of my home that shows the old and the new windows for comparison. I ask that you consider allowing me to continue replacing these windows with the materials I have already purchased. Please consider my request and thank you for your time.

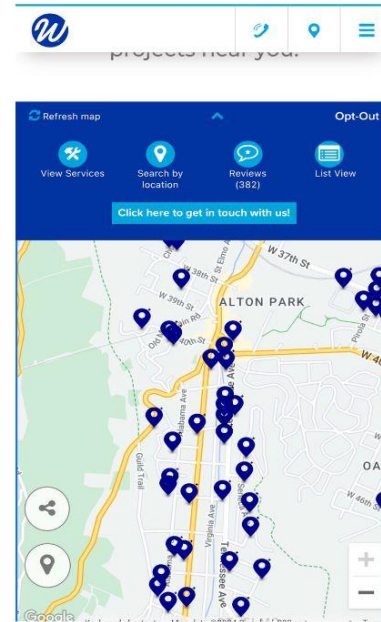
Application Information

Case # HZ-24-96
4425 Seneca Ave.

3. Picture of neighboring properties with similar windows



Neighboring house with vinyl Windows



Map of other homes in St. Elmo that have worked with window world

Application Information

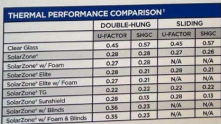
Case # HZ-24-96
4425 Seneca Ave.



A picture of the front of my home (from the street) that shows the vinyl windows and the old windows

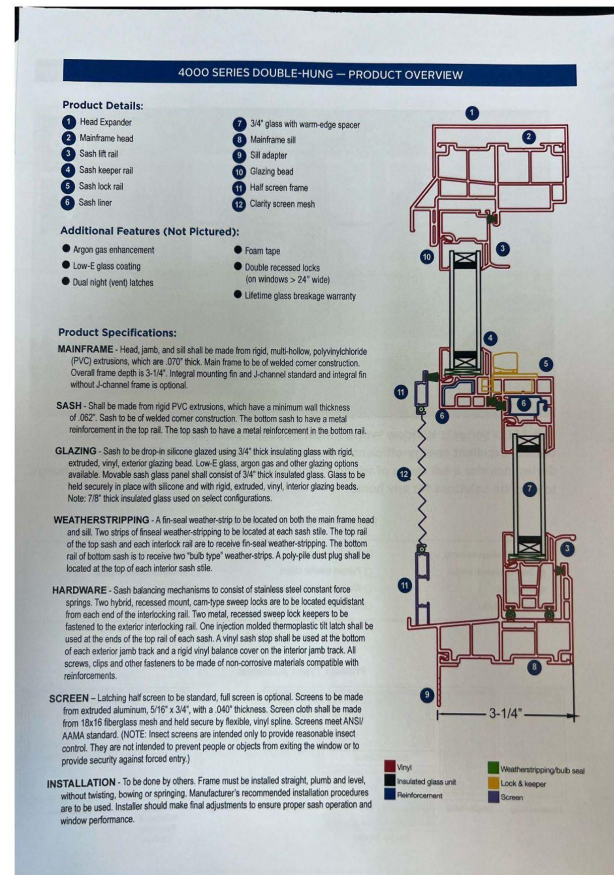
Case # HZ-24-96
4425 Seneca Ave.

1. Materials/specification sheets for new, proposed windows



1) Window values are based on standard 4000 Series offering. Values vary depending on grids and optional glass thicknesses (upgrades 1/4" laminated, 1/8" tempered, 3/16" decorative glass etc.) STC and SHGL performance values are also available. SolarZone for products with tints-between-the-glass does not contain argon gas.

5



Application Information

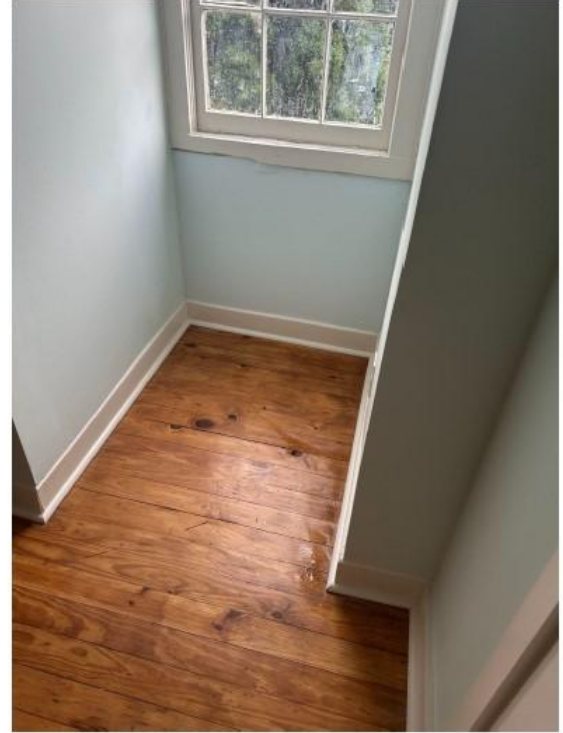
Case # HZ-24-96
4425 Seneca Ave.



Application Information

Case # HZ-24-96
4425 Seneca Ave.

2. Pictures of existing windows



Shows a trail of water from the window and drywall damage under the window

Relevant Saint Elmo Guidelines:

Case # HZ-24-96, 4425 Seneca Ave.


6.41 Windows, Page 74

6.41 Windows

St. Elmo boasts a wide variety of historic wood windows in various sash designs and sizes. Windows should be maintained or repaired to match the original design. If windows are deteriorated beyond repair, the installation of new wood windows to match the original designs is best. Vinyl clad windows or windows of anodized aluminum are also acceptable but these are more appropriate at the rear or sides of dwellings which are not readily visible from the street. If only one or two windows on the front of the house are deteriorated, consider removing good condition windows from the rear or sides of the house to add in their place.

Original window openings should not be covered or concealed. They should also not be enclosed for the addition of smaller windows. New windows should not be added on the fronts of dwellings but may be added at the rear or sides if not readily visible from the street. The addition of window screens to historic windows is fine as long as the screens are full-view design or have a central meeting rail to match the historic window.

- A. Should be preserved in their original location, size, and design and with their original materials and number of panes. **The applicant is proposing to replace all the existing windows with new windows.**
- B. Should not be added to primary facades or to secondary facades where readily visible.
- C. Should be repaired rather than replaced, but if replacement is necessary due to severe deterioration, the replacement should be in-kind to match the originals in material and design. **The windows on site are not deteriorated beyond repair. Staff visited the site to confirm the condition of the windows. The existing windows are in good condition and should be retained.**
- D. Of steel or other metal designs should be preserved and maintained, or replaced with new metal windows which are similar in appearance and materials.
- E. Should not have snap-on or flush muntins. These muntins are much thinner than the muntins on historic windows and don't look real.
- F. Screens and/or storms should be wood or baked-on or anodized aluminum and fit within the window frames, not overlap the frames.
- G. Should not have shutters unless they are of louvered wood construction and are designed to fit the window opening (so that if closed, they would cover the window opening).
- H. Should not have security bars where visible from the street.




Case # HZ-24-96
4425 Seneca Ave.

Applicant Presentation (10 minutes maximum)

Case # HZ-24-96
4425 Seneca Ave.

Community Comments & Comments by Other Persons (3 minutes maximum per person)





Case # HZ-24-96
4425 Seneca Ave.

Applicant Response (5 minute maximum)

**Historic Zoning Commission Discussion
Motion and Vote**

Staff Updates:

- Guidelines Survey to close October 21st

Final Information:

A **Certificate of Appropriateness** will be issued for approved projects within a week of the hearing.

Next meeting date: November 21 , 2024 (Application Deadline, October 18, 2024 by 4 p.m.)

If your case is deferred OR if you have conditional items to bring back before the Commission, you MUST contact staff and ask to be added to the agenda for that meeting. You will NOT automatically be added to the agenda.



Adjourn

Motion and Vote