

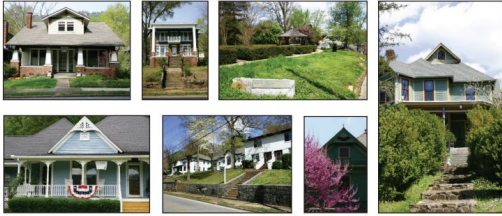
# Historic Zoning Commission

October 16, 2025



## St. Elmo

Historic District Guidelines



## Fort Wood

Historic District Guidelines



## Ferber Place

Historic District Guidelines



## Battery Place

Historic District Guidelines



# Rules of Procedure

The order of business for hearing will be as follows:

1. **Staff Presentation**
  - a. Application description of proposed project
  - b. Note if the site/structure is historic and/or listed as contributing to the character of the district.
  - c. Location of proposed project
  - d. Explanation of proposed project
  - e. Project photographs and plans
2. **Applicant Presentation** (10 minutes maximum)
3. **Comments by Other Persons** (limited to 5 minutes)
  - a. Opponents, proponents, and other
4. **Applicant Response** (5 minute maximum)
5. **Historic Zoning Commission Discussion**
6. **Motion and Vote**

A Certificate of Appropriateness will be issued within a week of the hearing.

\*\*\*If you defer your case OR if you have conditional items to bring back before the Commission, you **MUST** contact staff and ask to be added to the agenda for that meeting. You will NOT automatically be added to the agenda.\*\*\*

***Please note that this meeting is being recorded.***



# Additional Rules of Procedure

- **Swearing In & Sign In:** If you plan to speak you must be sworn in and sign in at the podium.
- **Laser Pointer:** Use the laser pointer to indicate what areas you are modifying when presenting.
- **Applicant Deferring Case:** If you would like to defer your case to be heard at a later date, a deferral must be requested by the applicant prior to the statement of the case's motion.
  - The application must be updated (in its entirety) by the applicant and submitted one week after the meeting date.
- **Exiting During the Meeting:** If you leave the meeting, please wait until exiting to wooden doors to speak.
- **COA Information:**
  - All construction work must meet the Certificate of Appropriateness (COA) and Design Guidelines as approved by the Chattanooga Historic Zoning Commission or CHZC Staff. If plans change, a new application will be required. If work is not started within 6 months of issue date, a new COA will need to be issued.
  - A COA is NOT a building permit or a land disturbing permit. Please contact the Land Disturbing Office or the Building Permit Office prior to starting the project.
  - The COA must be posted in a visible location or on file on the property until the project is completed.

# Agenda

## 1. Roll Call

## 2. Swearing In

## 3. Rules of Procedure. Order of Business

## 4. Approve Minutes of Prior Meetings

## 6. Old Business:

- I. HZ-25-54: 203 Eveningside: New Openings, Deck Railing, Material Change
- II. HZ-24-96: 4425 Seneca Ave.: Windows
- III. HZ-23-171: 4423 Seneca Ave.: As Built
- IV. HZ-23-134: 5101 Tennessee Ave.: COA Revisions for Deck
- V. HZ-24-56: 1402 W. 55th St.: COA Revisions for New Construction
- VI. HZ-22-143: 503 Battery Place: As Built

## 7. New Business:

### a. Listing of Staff Reviews

### b. Commission Cases to review

- I. HZ-25-100: 5500 Beulah Ave.: Garage + Parking
- II. HZ-25-103: 4705 Michigan Ave. Porch + Exterior Rehabilitation
- III. HZ-25-113: 4401 St. Elmo Ave.: Correction Notice, Outbuilding
- IV. HZ-25-115: 4910 St. Elmo Ave. : Stop Work Order, Front Porch
- V. HZ-25-117: 5415 Beulah Ave.: Shed

## 8. Other Business: None

## 9. Announcements: Next meeting date: November 20, 2025 (application deadline – October 17, 2025 at 4 p.m.)

## 10. Adjourn

# Staff Reviews

- I. HZ-25-116: 5415 Beulah Ave.: Fence
- II. HZ-25-119: 5200 St. Elmo Ave.: Fence
- III. HZ-25-120: 806 Vine St.: Roof
- IV. HZ-25-122: 1319 W. 45th St.: Porch Reconstruction
- V. HZ-25-123: 227 Eveningside Dr.: Fence
- VI. HZ-25-124: 4620 St. Elmo Ave.: Fence



# Old Business

# Case # HZ-25-54

## 203 Eveningside Drive

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**Neighborhood:** Ferger Place

**Historic Structure:** Yes, ca. 1900

**Description of proposed project:** New Openings, Deck Railing, Material Change



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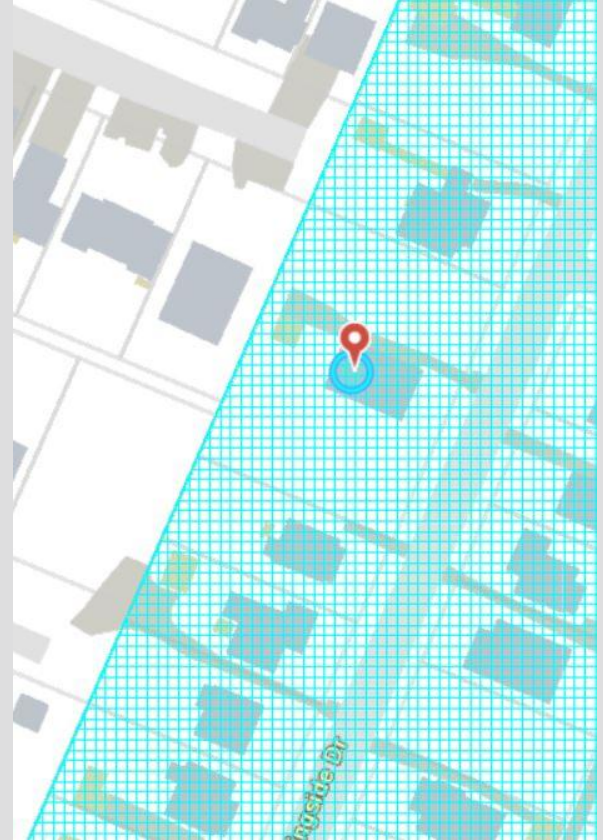
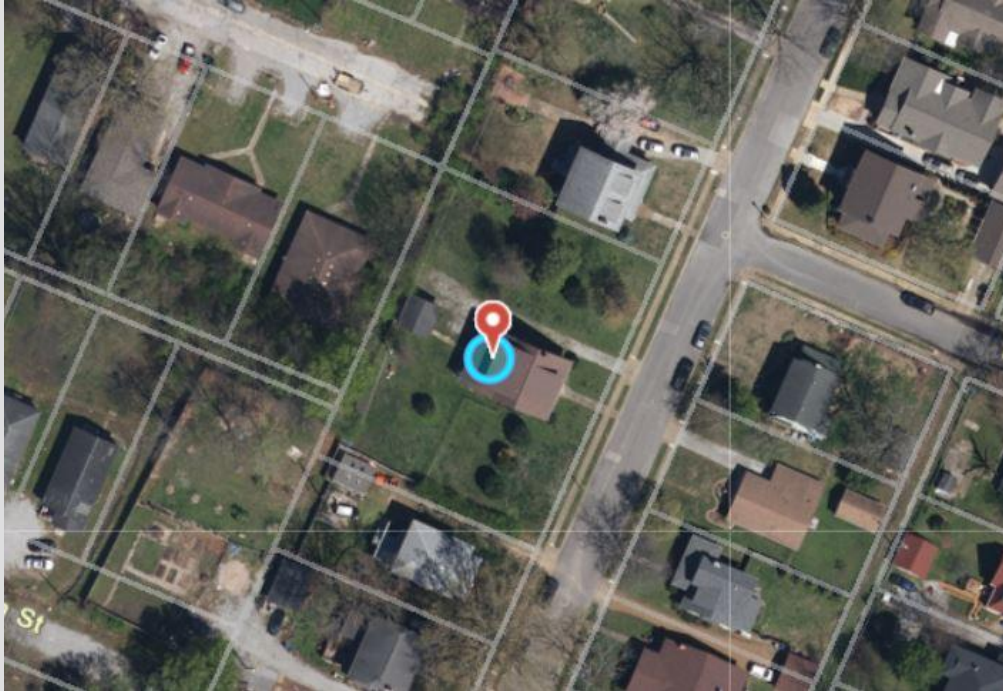
## Historic Zoning History:

HZ-22-136: Exterior Renovation

# Map Location

Case # HZ-25-54

203 Eveningside Dr.





# Property Photos

Case # HZ-25-54  
203 Eveningside Dr.



# Property Photos

Case # HZ-25-54  
203 Eveningside Dr.





# Neighboring Property Photos

Case # HZ-25-54  
203 Eveningside Dr.



# Neighboring Property Photos

Case # HZ-25-54  
203 Eveningside Dr.



# Application Information

Case # HZ-25-54

203 Eveningside Dr.

203 Eveningside Drive

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Chattanooga, TN, 37404

Applicant: Lee Brock



# Application Information

Case # HZ-25-54  
203 Eveningside Dr.

## Context (Adjacent Properties)



### Key:

- 1: Vacant lot to left
- 2: House to left
- 3: House to right
- 4: House across street 1
- 5: House across street 2





# Application Information

Case # HZ-25-54

203 Eveningside Dr.

## Front Elevation Changes (East)

- 1: Change single window (left side) to triple window that mimics the original one to the right of the front door. The single window that is removed will relocate to the left elevation. New window to be wood clad, simulated divided lite.
- 2: Change dormer material from asbestos siding to real cedar shake.
- 3: Remove vinyl shutters from all windows and replace shutter on dormer only with wooden, operable style with dogs.
- 4: Replace existing metal chimney cap with clay cap that is more period correct.



Existing

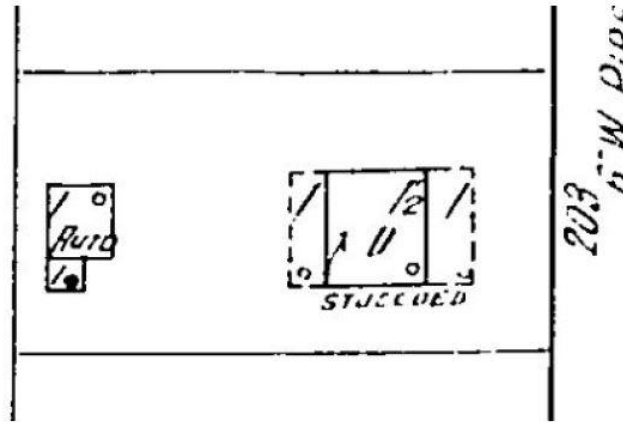


*Proposed*

# Application Information

Case # HZ-25-54  
203 Eveningside Dr.

## Original Front Porch (East)



1917 Sanborn Map (showing open porch)



2022 Site Photograph

# Application Information

Case # HZ-25-54

203 Eveningside Dr.

## Front Elevation Changes (East)

- 1: Replace existing metal chimney cap with clay cap that is more period correct.
- 2: Change dormer material from asbestos siding to real cedar shake.
- 3: Add two panel glass patio door to breakfast room (wall to left of front door).
- 4: Add two small windows in master bedroom (right rear). Size TBD, but similar proportion to those shown.



Existing



*Proposed*



Existing



*Proposed*

# Application Information

Case # HZ-25-54  
203 Eveningside Dr.

## Rear Elevation Changes (West)

- 1: Change dormer material from asbestos siding to real cedar shake.
- 2: Remove 1960s railing and replace with wood balusters and 6"x6" wood columns.



Existing



*Proposed*



# Application Information

Case # HZ-25-54

203 Eveningside Dr.

## Left Elevation Changes (South)

- 1: Change dormer material from asbestos siding to real cedar shake.
- 2: Single window relocated from the front moves to side of breakfast room (front right).
- 3: Remove 1960s railing and replace with wood balusters and 6"x6" wood columns.
- 4: Exchange center window position with right window position.



Existing



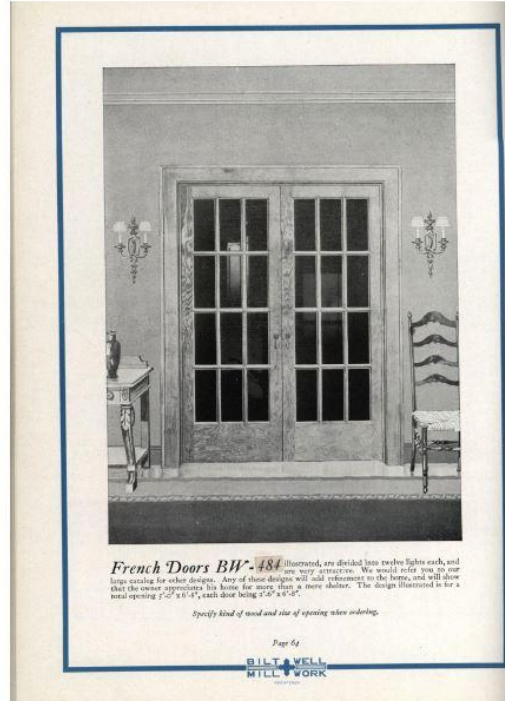
*Proposed*

# Application Information

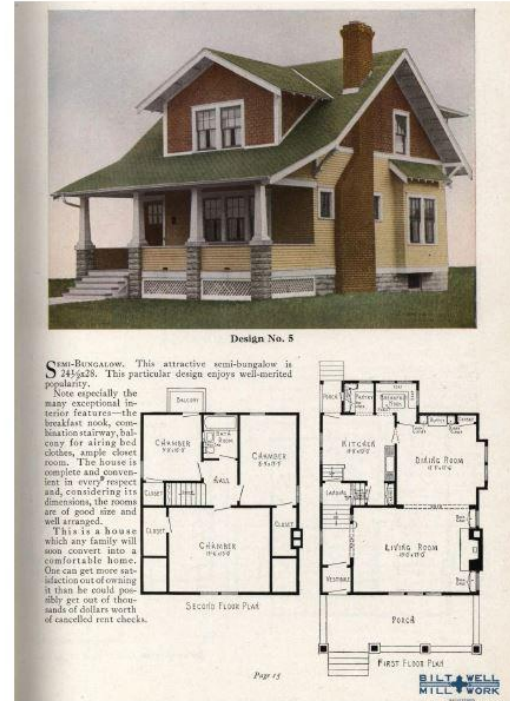
Case # HZ-25-54  
203 Eveningside Dr.

## Craftsman Bungalow Examples:

From the 1926 *Edition of Practical Homes* by Biltwell Millwork



Ex: Patio door for front porch breakfast room



Ex: Differing material in dormer— Proposed cedar shake

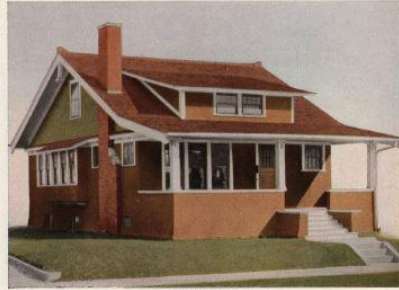


# Application Information

Case # HZ-25-54  
203 Eveningside Dr.

## Craftsman Bungalow Examples:

From the 1926 Edition of *Practical Homes* by Biltwell Millwork



Design No. 88

**T**HIS five room bungalow is 26x38 feet, with concrete foundation under the entire house. The plans provide for a 27-inch cement water table extending around the entire house, with stucco from water table to belt course. Shingles are used above, also on the roof. This design retains the low effect so much desired in bungalow construction. The interior arrangement is practical and convenient. The living room, dining room and vestibule are finished in oak or birch. It has a fireplace, bookcase, dining Gothic arch between living and dining room. Spacious interior effect. A kitchen cabinet with all necessary equipment including refrigerator space for outside icing, linen closet with drawers and shelves, machine cabinet in bathroom with mirror and broom closet are all provided for in this plan.

The chambers, bathroom and hall are finished in block or fir, white enamel, doors are stained mahogany.

The basement has a plastered laundry with tubs and floor drain, vegetable cellar with bins and shelves, dustproof coal bin with cast iron coal chute.

Electric wiring throughout with base switches for vacuum cleaners. The modern plumbing fixtures have latest improvements. As this bungalow has much attic space, two large rooms could easily be finished and still have ample space for store room. Hot water or hot air can be used.



Page 22

BILTWELL  
MILLWORK

Ex: Proposed small windows on side/differing size



Design No. 42

**T**HIS bungalow, 26x41, has a concrete block foundation under the entire house. The exterior walls are of narrow siding and shingles in gable, with green stained shingles on roof. The interior is exceptionally well planned, as well as convenient. It is a plan which can be adjusted to meet the requirements of a fairly large family, by using the room, designated as sun room, as a chamber. On the other hand, if only two chambers are desired, this room is admirably situated for a sun room. If it is used, you can eliminate the door and have either arch opening or French doors. Besides this sun room, you can have a cozy porch, screened in summer and shaded in winter. The living room and dining room are of good size, with plaster arch between them. The kitchen, has a breakfast nook, kitchen cabinet with refrigerator space for outside icing, also grade entry to basement.

The center hall, leading to kitchen, chambers, bath room and dining room is another admirable feature in this plan.

The woodwork may be fir, birch or oak, finished walnut, old ivory, mahogany, or old English. Chambers should be white enamel with doors stained mahogany.

The basement has laundry tubs, vegetable room and coal bin. Hot water or hot air heat may be used.



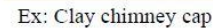
Page 43

BILTWELL  
MILLWORK

Ex: Proposed small windows on side/differing size and cedar shake in dormer

**Case # HZ-25-54**  
**203 Eveningside Dr.**

From the 1926 Edition of *Practical Homes* by Biltwell Millwork



Brown-Blodgett Company. (1970, January 1). *Practical homes : 1926. : Carr, Johnson & Co. : Free Download, borrow, and streaming*. Internet Archive. Retrieved July 20, 2022, from <https://archive.org/details/PracticalHomes1926>

# Relevant Ferger Place Guidelines:

Case # HZ-25-54, 203 Eveningside Dr.

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5.B Entrances, Porches, and Steps, Page 12

5.C Windows and Doors, Page 13

5.E Materials, Page 15

## Staff Report

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### B. Entrances, Porches, and Steps

1. Porches and steps that are appropriate to the building and its development should be retained. Porches or later additions reflecting later architectural styles are often important to the building's historical integrity in which case they should be retained.
2. Original details and shape – width, roof height, and roof pitch should be retained.
3. **Original porch materials should be preserved or replace when beyond repair. Such materials include wood, terra cotta, tile, slate, brick, marble, stone, and stucco. Other materials may be substituted for these when it is not economically feasible to replace or repair with original materials. The applicant is proposing to remove the later, metal porch balustrade and columns and replace them with wooden columns and balustrade.**
4. Original porch details, such as columns, balusters, handrails, pediments, brackets, and roof detail, should be preserved or replaced when beyond repair.
5. The enclosing of front porches is inappropriate and should be avoided.
6. Screening porches is acceptable if the screening does not detract from the character and appearance of the building.
7. The enclosing of side porches may be considered appropriate if the visual openness and character of the porch is maintained.
8. Handicapped ramps should be built on the house in as unobtrusive a place as possible, i.e., if the ramp can be built on the side of the house instead of the front without causing substantial inconvenience to the property owner, then this should be done. Ramps should be screened with vegetation to help them blend in with the house.

# Staff Report

Case # HZ-25-54, 203 Eveningside Dr.

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## C. Windows and Doors

1. The original size, shape, and materials of windows and doors should be preserved or replaced if beyond repair.
2. **Existing window and door openings and hardware including window sash, glass, lintels, sills, architraves, shutters, doors, pediments, hoods, steps, transoms, side lights, and all hardware, should be retained and repaired if possible. The applicant is proposing to remove vinyl shutters and reinstall wooden, operable shutters on the dormer only.**
3. The original number and arrangement of panes should be maintained.
4. Storm windows and doors should be visually unobtrusive – they should be painted, anodized, or coated to match the existing. They should not. Preserving the size, shape, and materials of windows has a significant impact on the aesthetics of a historic home., the most visual component of historic homes, are important character defining elements of a house's architecture. damage existing frames and should be able to be removed in the future.
5. Plastic or metal strip awnings or non-original shutters that detract from the character and appearance of the building should not be used.
6. **New window and door openings should not be introduced. The applicant is proposing to install multiple new door and window openings. Applicant is proposing a new front window on the front elevation that was previously an open porch and french doors on to the existing porch on the front elevation. Applicant is proposing two new windows on the east elevation at the rear and one new window on the south elevation at the rear.**
7. Original window and door openings should not be filled in.


# Staff Report

Case # HZ-25-54, 203 Eveningside Dr.

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## E. Materials

1. Original building material (wood, brick, mortar, stone, terra cotta, and stucco) should be retained. **The applicant is proposing to install cedar shake siding on the existing dormer. The applicant provided examples from a period appropriate home catalog showing the cedar shake siding as a relevant material. The home catalog also shows a clay chimney cap. The applicant is proposing to replace the metal chimney cap with a clay cap.**
2. Reproduction or synthetic materials, such as vinyl and aluminum siding, should only be used when based on historic documentation. Vinyl or other synthetic siding should not detract from the character and appearance of the structure.
3. Vinyl siding or other synthetic siding should not obscure character defining elements of the structure, such as roof trim and window surrounds.
4. Replacement wood siding should be consistent with the original in size, direction, and lap dimension. Diagonal siding should not be used. Vertical siding should not be used unless the original siding was vertical. Original wall shingles should be maintained where possible, or replaced with compatible material. **The applicant is proposing to install cedar shake siding on the existing dormer. The applicant provided examples from a period appropriate home catalog showing the cedar shake siding as a relevant material.**
5. Masonry and Mortar Joints:
  - Masonry such as brick, stone, terra cotta, concrete, stucco, should be retained whenever possible.
6. Resurfacing masonry with inappropriate new materials, such as veneer, asphalt, or fiberglass shingles, or aluminum siding is not recommended. When repairing stucco, the mixture should duplicate the original in appearance and texture.
7. Repointing: See Guidelines



Case # HZ-25-54  
203 Eveningside Dr.

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**Applicant Presentation (10 minutes maximum)**




Case # HZ-25-54  
203 Eveningside Dr.

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**Community Comments & Comments by Other Persons**  
(3 minutes maximum per person)





Case # HZ-25-54  
203 Eveningside Dr.

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**Applicant Response (5 minute maximum)**

**Historic Zoning Commission Discussion  
Motion and Vote**

# Case # HZ-24-96

4425 Seneca Avenue

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Neighborhood: St. Elmo

Historic Structure: Yes, ca. 1930

Description of proposed project: Window Replacement



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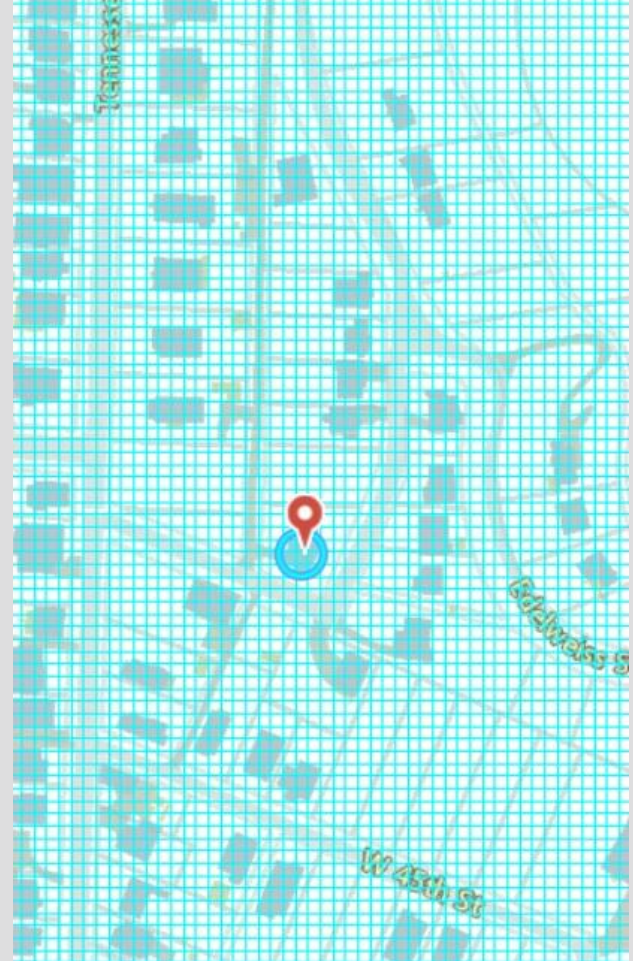
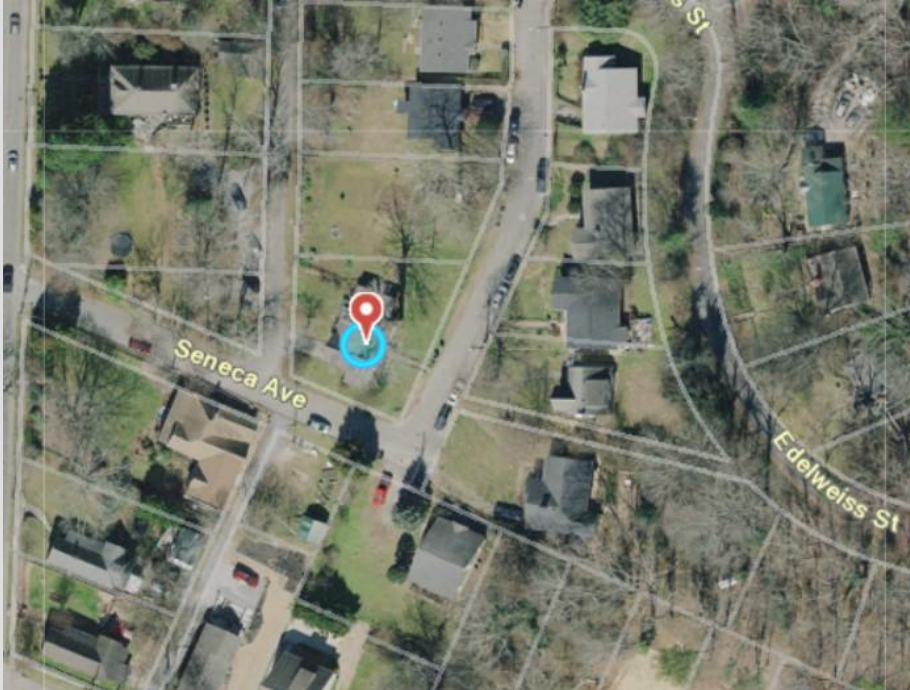
## Historic Zoning History:

HZ-23-58: In-kind repairs of existing siding

# Map Location

Case # HZ-24-96

4425 Seneca Ave.





# Property Photos

Case # HZ-24-96  
4425 Seneca Ave.



# Property Photos

Case # HZ-24-96  
4425 Seneca Ave.





# Property Photos

Case # HZ-24-96  
4425 Seneca Ave.





# Neighboring Property Photos

Case # HZ-24-96  
4425 Seneca Ave.



# Neighboring Property Photos

Case # HZ-24-96  
4425 Seneca Ave.





# Application Information

Case # HZ-24-96

4425 Seneca Ave.

My name is Greer Hampton and I am a first time homeowner that has recently settled in historic St. Elmo. I bought this home for the unique character it had and the community around it.

I did not expect the circumstances that would lead me to the decision to replace my windows. After a short time of living here I was faced with a rather large bug problem in every corner of my home. I quickly realized it was due to large gaps in the structure of the windows that no amount of pest control techniques were going to manage. The next problem became evident when it rained, which happened frequently in the recent months. I noticed that several windows were leaking and allowing water inside my home. This damaged the window itself, the drywall around it, and even the floors in some rooms. The only windows that aren't leaking or allowing bugs into the home are the ones that are painted shut, posing a potential fire hazard.

My problem with the windows was one that I thought could be easy to fix. Replacing the windows was not only going to increase the value of my home, but also provide me with peace of mind as to my safety and security while I live here. My focus of this project was to improve the safety and quality of the home. I did not consider that the outside of the windows would raise concerns about the historic quality of the home, because, as I said, I was only thinking about the benefits for the inside.

I apologize for my oversight and starting this project without going through the appropriate channels. This is a mistake that I will not make again. My main concern now is rectifying the situation as best I can. My contractor had no knowledge of the need for a certificate of appropriateness and showed me that they have replaced windows on my street with comparable windows. I am hopeful that I can be approved for this certificate as other homes have similar windows installed. Construction has been stopped and no new windows have been put in since this has been brought to my attention. I have attached a picture of the front of my home that shows the old and the new windows for comparison. I ask that you consider allowing me to continue replacing these windows with the materials I have already purchased. Please consider my request and thank you for your time.

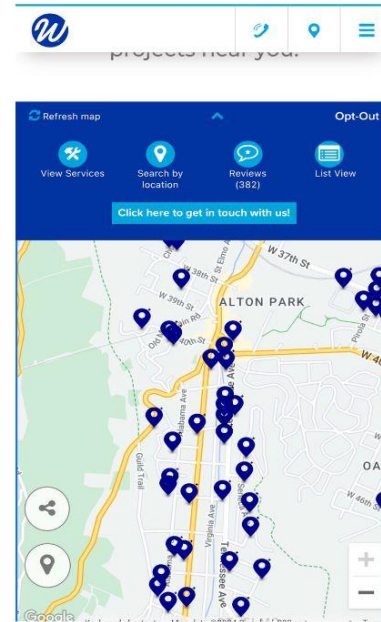
# Application Information

Case # HZ-24-96  
4425 Seneca Ave.

3. Picture of neighboring properties with similar windows



Neighboring house with vinyl Windows



Map of other homes in St. Elmo that have worked with window world

# Application Information

Case # HZ-24-96  
4425 Seneca Ave.

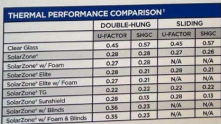


A picture of the front of my home (from the street) that shows the vinyl windows and the old windows



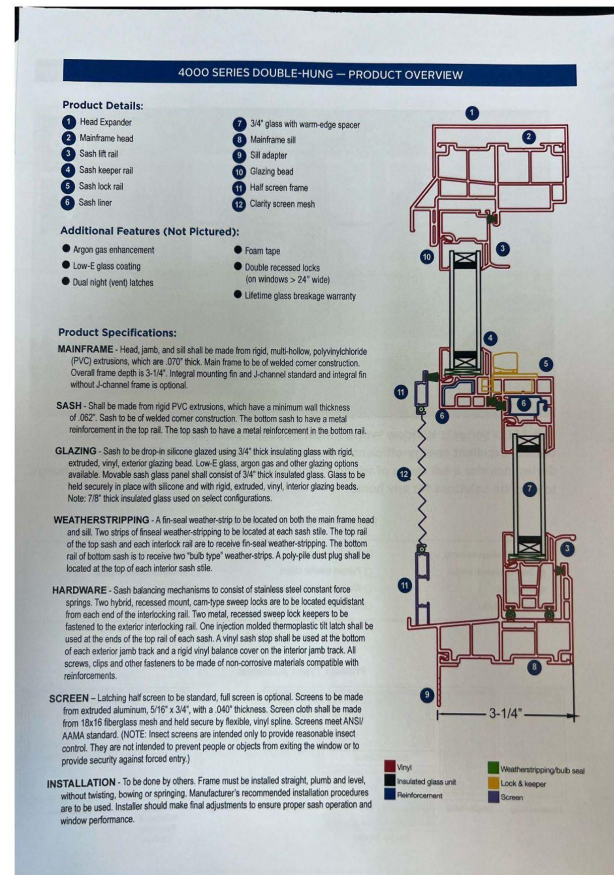
**Case # HZ-24-96**  
**4425 Seneca Ave.**

1. Materials/specification sheets for new, proposed windows



1) Window values are based on standard 4000 Series offering. Values vary depending on grids and optional glass thicknesses (upgrades: 1/4" laminated, 1/8" tempered, 3/16" decorative glass etc.) STC and HAP performance values are also available. SolarZone for products with blinds-between-the-glass does not contain argon gas.

5



**INSTALLATION** - To be done by others. Frame must be installed straight, plumb and level, without twisting, bowing or springing. Manufacturer's recommended installation procedures

**INSTALLATION:** - To be done by others. Frame must be installed straight, plumb and level, without twisting, bowing or springing. Manufacturer's recommended installation procedures are to be used. Installer should make final adjustments to ensure proper sash operation and window performance.

# Application Information

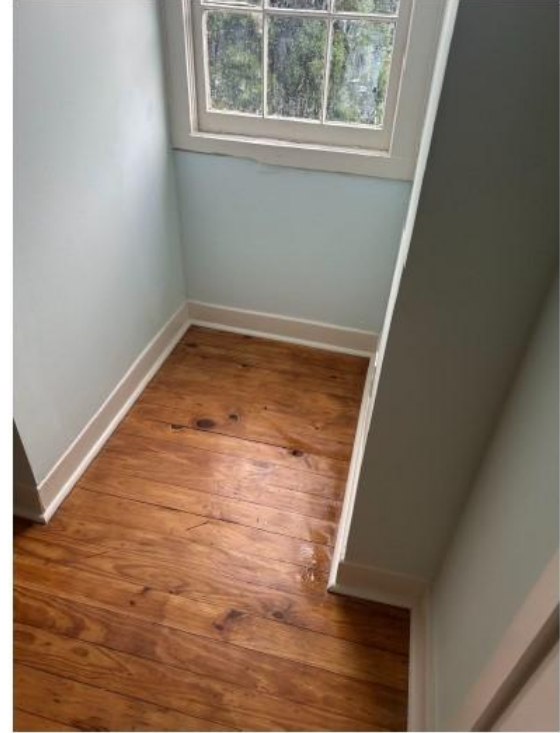
Case # HZ-24-96  
4425 Seneca Ave.



# Application Information

Case # HZ-24-96  
4425 Seneca Ave.

## 2. Pictures of existing windows



Shows a trail of water from the window and drywall damage under the window

# Relevant Saint Elmo Guidelines:

Case # HZ-24-96, 4425 Seneca Ave.

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6.41 Windows, Page 74


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## 6.41 Windows

St. Elmo boasts a wide variety of historic wood windows in various sash designs and sizes. Windows should be maintained or repaired to match the original design. If windows are deteriorated beyond repair, the installation of new wood windows to match the original designs is best. Vinyl clad windows or windows of anodized aluminum are also acceptable but these are more appropriate at the rear or sides of dwellings which are not readily visible from the street. If only one or two windows on the front of the house are deteriorated, consider removing good condition windows from the rear or sides of the house to add in their place.

Original window openings should not be covered or concealed. They should also not be enclosed for the addition of smaller windows. New windows should not be added on the fronts of dwellings but may be added at the rear or sides if not readily visible from the street. The addition of window screens to historic windows is fine as long as the screens are full-view design or have a central meeting rail to match the historic window.

- A. Should be preserved in their original location, size, and design and with their original materials and number of panes. **The applicant was denied window replacement but granted temporary approval for the vinyl windows to remain. Applicant to confirm their current request.**
- B. Should not be added to primary facades or to secondary facades where readily visible.
- C. Should be repaired rather than replaced, but if replacement is necessary due to severe deterioration, the replacement should be in-kind to match the originals in material and design. **The windows on site are not deteriorated beyond repair. Staff visited the site to confirm the condition of the windows. The existing windows are in good condition and should be retained. The applicant has stated that the original windows are still on site, but has not provided pictures.**
- D. Of steel or other metal designs should be preserved and maintained, or replaced with new metal windows which are similar in appearance and materials.
- E. Should not have snap-on or flush muntins. These muntins are much thinner than the muntins on historic windows and don't look real.
- F. Screens and/or storms should be wood or baked-on or anodized aluminum and fit within the window frames, not overlap the frames.
- G. Should not have shutters unless they are of louvered wood construction and are designed to fit the window opening (so that if closed, they would cover the window opening).
- H. Should not have security bars where visible from the street.



Case # HZ-24-96  
4425 Seneca Ave.

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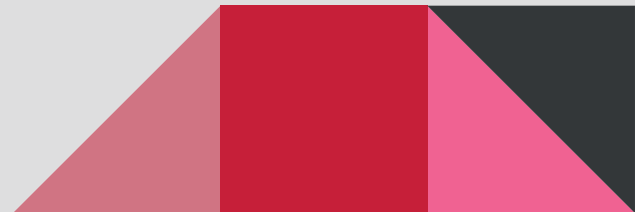
**Applicant Presentation (10 minutes maximum)**




Case # HZ-24-96  
4425 Seneca Ave.

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## Community Comments & Comments by Other Persons (3 minutes maximum per person)





Case # HZ-24-96  
4425 Seneca Ave.

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**Applicant Response (5 minute maximum)**

**Historic Zoning Commission Discussion  
Motion and Vote**

# Case # HZ-23-171

4423 Seneca Ave.

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**Neighborhood:** Saint Elmo

**Historic Structure:** No, ca. 2025

**Description of proposed project:** As-Built Changes, New Construction



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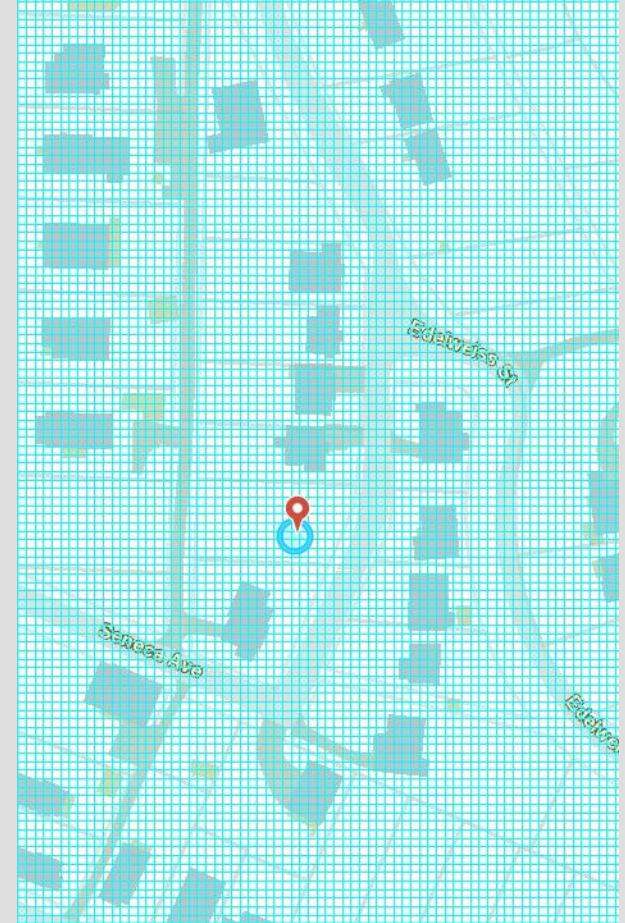
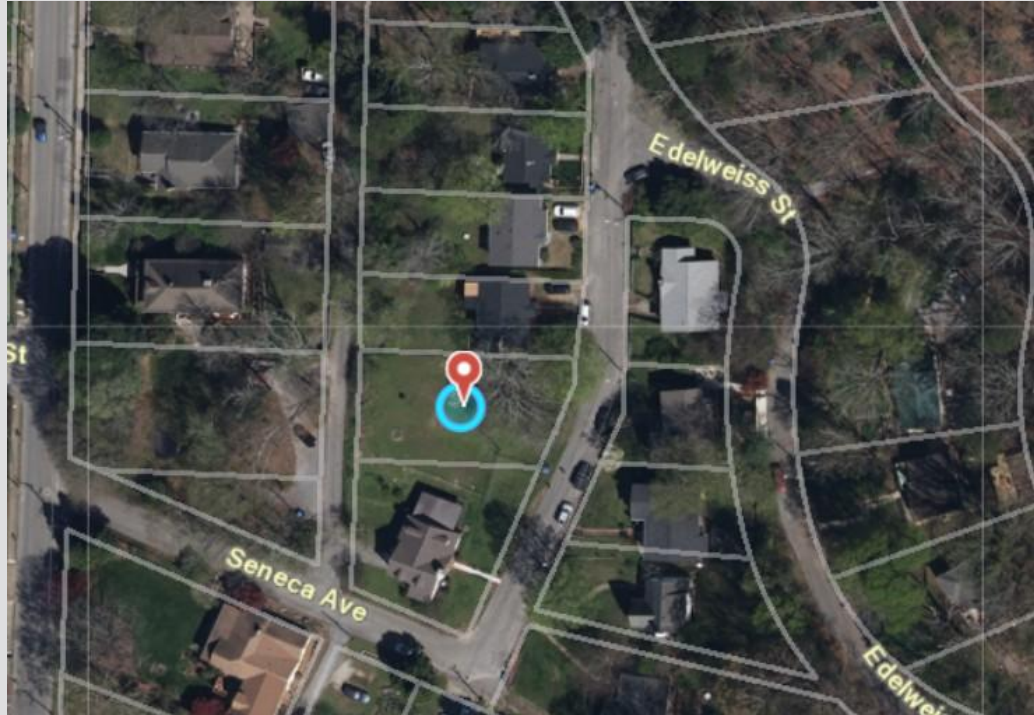
## **Historic Zoning History:**

HZ-23-58 : Repairs to siding and exterior paint

# Map Location

Case # HZ-23-171

4423 Seneca Ave.





# Property Photos

Case # HZ-23-171  
4423 Seneca Ave.





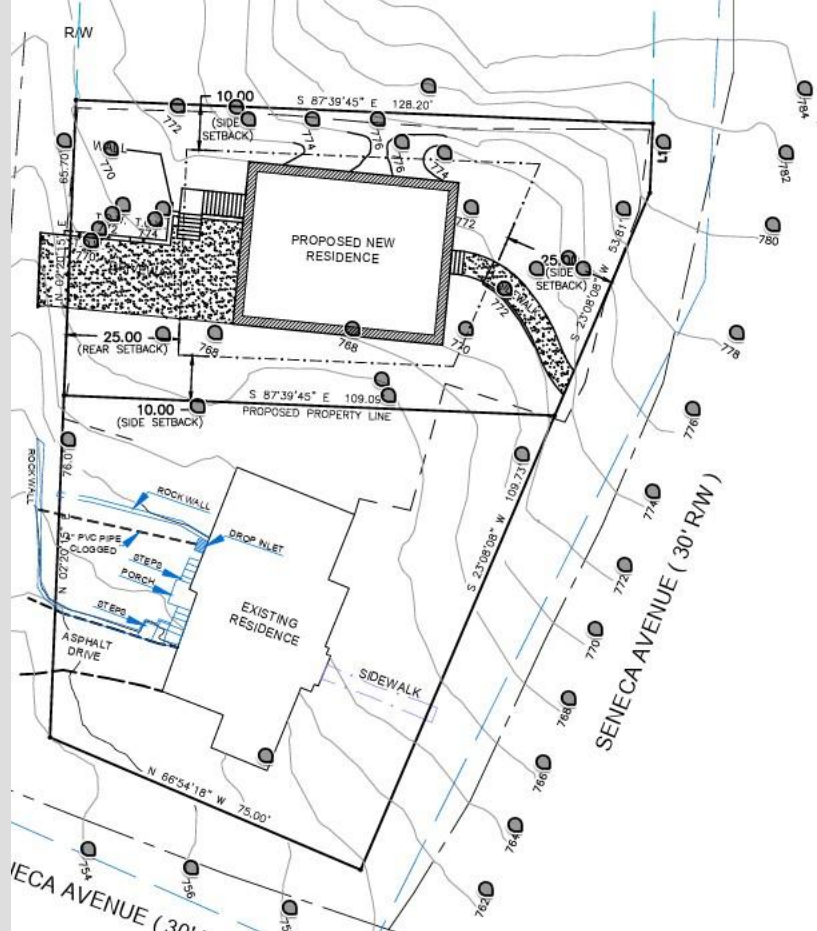
# Neighboring Photos

Case # HZ-23-171  
4423 Seneca Ave.



# Application Information

Case # HZ-23-171  
4423 Seneca Ave.



**Case # HZ-23-171**  
**4423 Seneca Ave.**

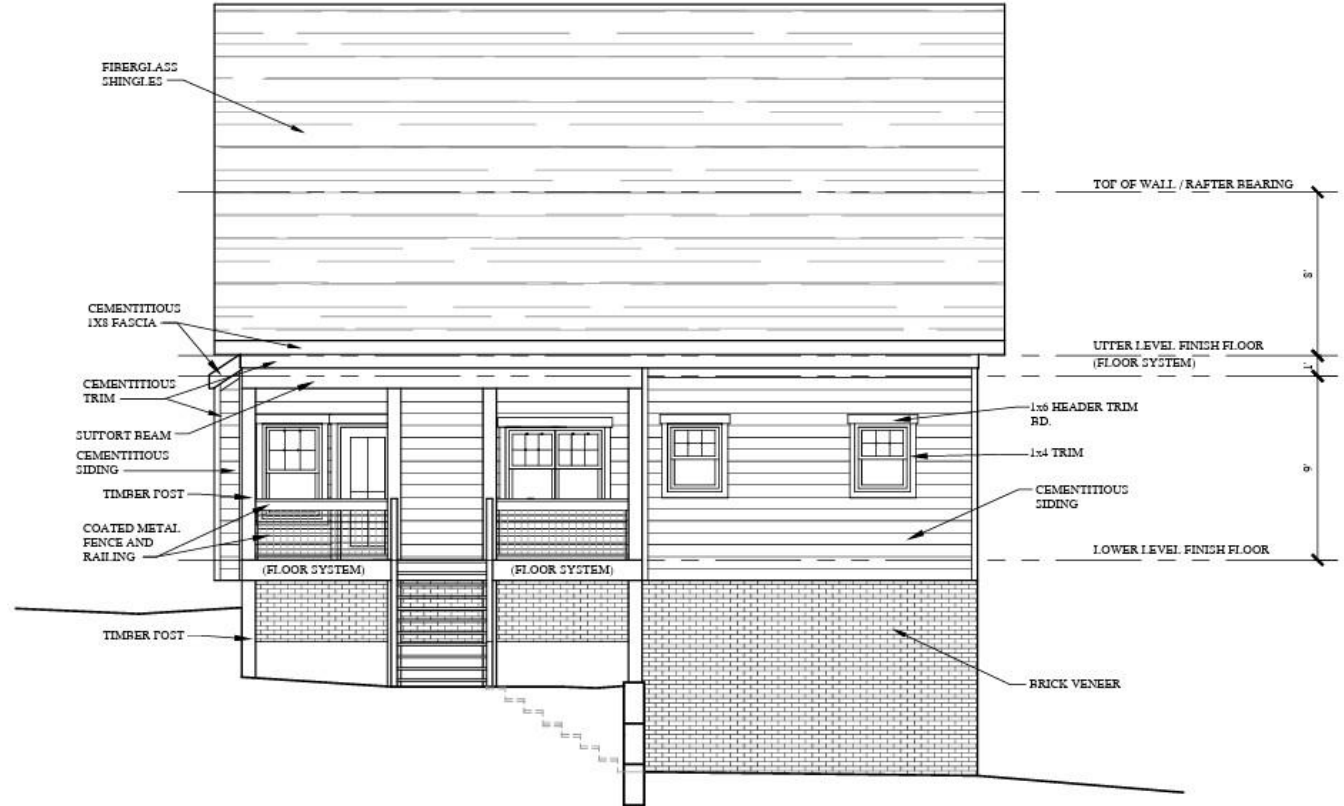
**Case # HZ-23-171**  
**4423 Seneca Ave.**





# Application Information

Case # HZ-23-171  
4423 Seneca Ave.



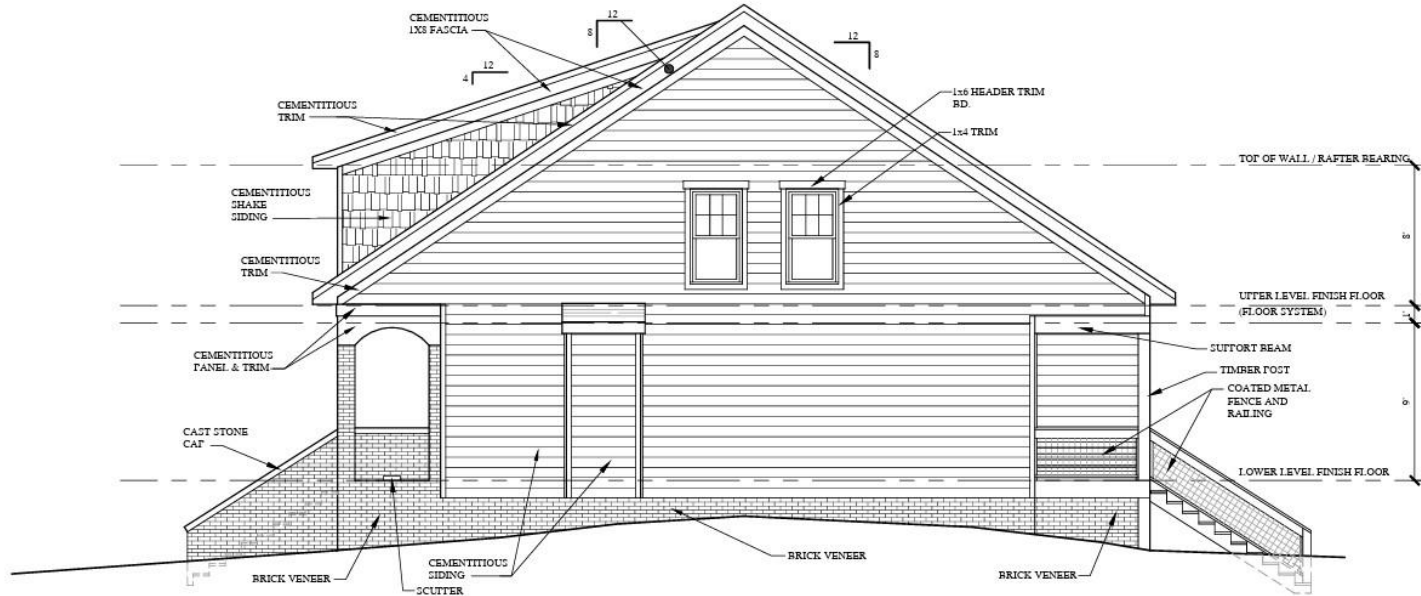
2 REAR/WEST ELEVATION  
1/4" = 1' 0"



# Application Information

Case # HZ-23-171

4423 Seneca Ave.

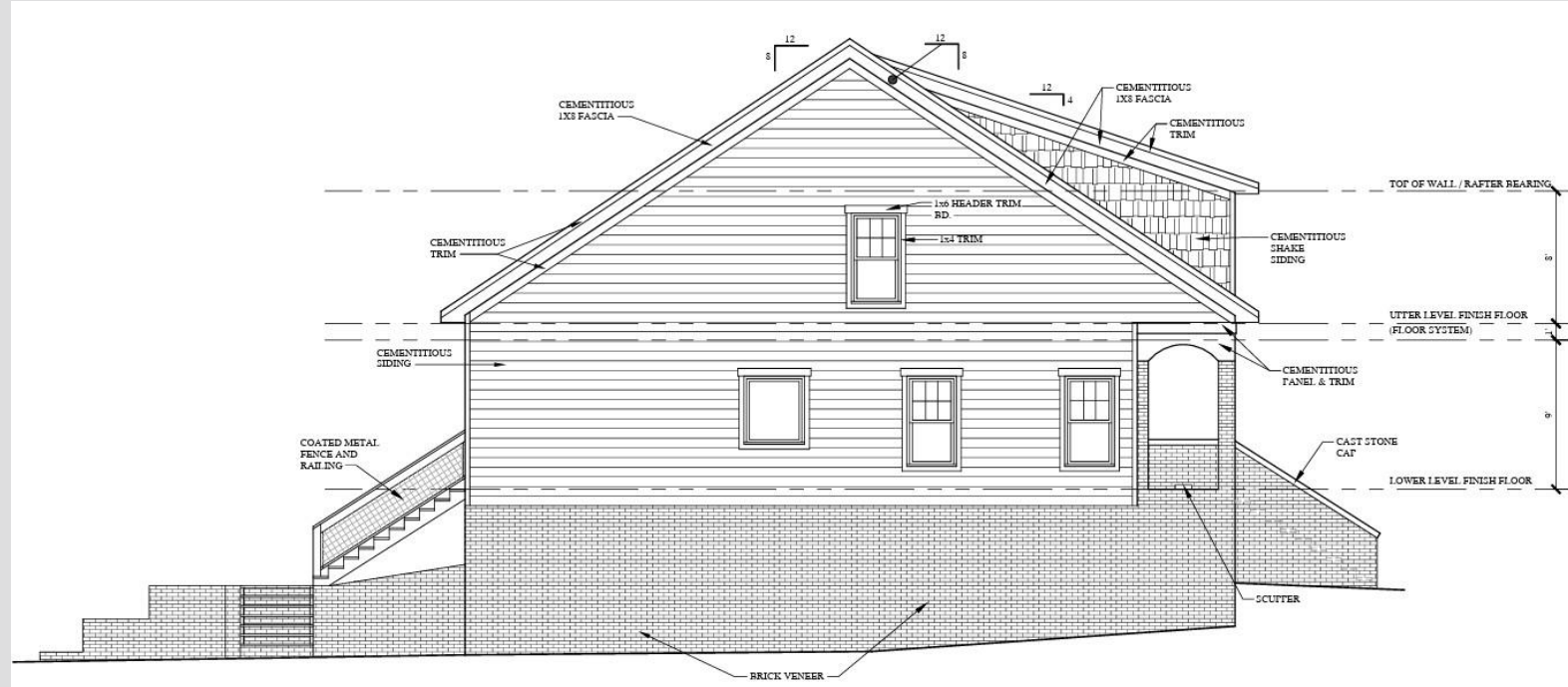


1 RIGHT SIDE/NORTH ELEVATION  
1/4" = 1' 0"

# Application Information

Case # HZ-23-171

4423 Seneca Ave.



2 LEFT SIDE/ SOUTH ELEVATION  
1/4" = 1' 0"

# Materials List

Case # HZ-23-171  
4423 Seneca Ave.

---

## CARLSON & CARLSON

---

### ARCHITECTS

---

Material list for 4425 Seneca Ave. , St. Elmo:

Exterior Material list:

- Brick Veneer foundation w/ foundation vents up to First Floor Finish floor elevation
- Cementitious siding, soffit, trim and fascia
- Architectural fiberglass shingles
- Wood exterior doors
- Vinyl clad wood windows
- Wood Railing at deck with wood structural framing
- Coated fence for railing
- Cast Stone masonry cap.

# Application Information

Case # HZ-23-171

4423 Seneca Ave.





# Application Information

Case # HZ-23-171

4425 Seneca Ave.



# Application Information

Case # HZ-23-171  
4425 Seneca Ave.



# Relevant Saint Elmo Guidelines:

Case # HZ-23-171, 4423 Seneca Ave.

---

6.22 New Construction Page 52

## Staff Report

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### 22. New Construction (New Buildings)

A. Of primary buildings should maintain, not disrupt, the existing pattern of surrounding historic buildings along the street by being similar in:

1. Shape. Variations of rectangular and square forms are most appropriate for the district;
2. Scale (height and width). Most of the district is zoned R-2 which restricts new construction to no more than two-and-one half stories or thirty-five feet in height. Th is maximum height would be appropriate for most blocks in the district. On blocks which have predominantly one-story buildings, new construction of one-to two stories would be more appropriate;
3. Roof shape and pitch. Roof slope ratio for new construction should be a minimum of 6:12 to a maximum of 12:12 (6:12 refers to six inches of rise to 12 inches of run in measuring slopes). Roof for of gable and hipped variations are more appropriate than those of flat, mansard, or gambrel forms. Flat roofs are appropriate only for commercial buildings;
4. Orientation to the street. All buildings should have at least a secondary entrance and some type of entry porch on the front of the building. Most buildings in St. Elmo have their fronts oriented towards the street and this characteristic should be maintained by new construction;

# Staff Report

Case # HZ-23-171, 4423 Seneca Ave.

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5. Location and proportion of porches, entrances, windows, and divisional bays. Porches should have roof forms of gable or shed design and at least cover the entrance. Porches which extend partially or fully across the main façade are recommended. Porch columns and railings should be simple in design in square or round shapes. Columns should be a minimum of six inches and a maximum of ten inches square or in diameter. Porch railings should have balusters which are no more than two inches square or in diameter. **The drawings showed arched porch panels and tapered brick columns. The as-built has no arched porch panels at the roof or tapered brick columns.**

New windows should be rectangular sash whose proportions on the main façade should not exceed three-to-one in a height to width ratio or be any less than two to one in height-to-width (two to one proportions are preferred). No horizontal sash, casement, or awning type windows should be placed on the fronts of buildings. The use of plastic or “snap-in” muntins (window pane dividers) is discouraged. **The windows on the house seem to have plastic muntins and do not match the original design. The drawings showed double hung, vinyl clad windows with 6/1 on all sides. The windows on the front facade including the dormer do not have any muntins. They are large 1/1 windows and they have be installed in the wrong place per the approved drawings. The remaining windows are 6/6.**

6. Foundation height. Height of foundations should be a minimum of 1 foot, six inches and a maximum of two feet above grade. No slab foundations or at-grade foundations should be utilized on the fronts or readily visible sides of buildings;

7. Floor-to-ceiling heights. Floor to ceiling heights should not exceed ten feet and not be less than eight feet;

8. Porch height and depth. Porch heights should be consistent with those of adjacent buildings. Porch depths should be a minimum of six feet;



# Staff Report

Case # HZ-23-171, 4423 Seneca Ave.

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9. Material and material color. Foundations: Most foundations are of brick, poured concrete or concrete block. Poured concrete is more appropriate than concrete block. If concrete block is used, a stucco wash is recommended to provide a smooth surface. Split faced concrete block is also an acceptable foundation material.

Brick Dwellings: If the new construction is of brick, the brick should closely match typical mortar and brick color tones found in the district and along the block. White or light mortars provide too much contrast with typical dark brick colors and should be avoided.

Frame Dwellings: If the new construction is of frame, the preferred exterior material is horizontal wood siding which is a minimum of four inches and a maximum of six inches in width. The use of masonite is also acceptable as long as it meets these size recommendations. The use of grained pressboard or chipboard is less appropriate but is acceptable if it meets these size recommendations. Vertical board siding is not appropriate for new construction on the fronts or sides of buildings. The use of vinyl or aluminum siding is also discouraged and should only be used on rear or non-readily visible sides of buildings.

Windows: Wood construction is preferred for windows, especially those on the fronts of buildings. However, the use of vinyl clad or aluminum windows is also acceptable as long as they follow proper proportions (see window guidelines). The use of dark anodized aluminum windows or storm windows is appropriate. **The windows on the house seem to have plastic muntins and do not match the original design. The drawings showed double hung, vinyl clad windows with 6/1 on all sides. The windows on the front facade including the dormer do not have any muntins. They are large 1/1 windows and they have be installed in the wrong place per the approved drawings. The applicant did not confirm the type of windows that were installed. The remaining windows are 6/6.**

10. Details and texture. The width of window and door trim should be at least three and one-half inches. Roof eaves should have a minimum depth of eight inches. No imitative architectural features such as vergeboard (“gingerbread”), roof balustrades, or prominent stained glass windows are appropriate for new construction. **The proposed headers was not installed around the windows and doors. The trim does not have any distinct dimension from the siding.**

11. Placement on the lot. Front and side yard setbacks should respect the setbacks found along the block on which the building is sited.

The minimum front yard setback under R-2 zoning is 25 feet. Requirements for side yard setbacks are a minimum of 10 feet.

B. Of primary buildings, while blending in with adjacent buildings, should not be too imitative of historic styles so that new buildings can be distinguished from historic buildings.

NOTE: A new building becomes too imitative through application of historic architectural decoration such as gingerbread, vergeboards, dentils, fish scale shingles, etc. These kinds of details are rarely successful on a new building. They fail to be accurate (are usually smaller, skimpy, versions of authentic ones) and should be avoided.



Case # HZ-23-171  
4423 Seneca Ave.

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**Applicant Presentation (10 minutes maximum)**

Case # HZ-23-171  
4423 Seneca Ave.

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## Community Comments & Comments by Other Persons (3 minutes maximum per person)





Case # HZ-23-171  
4423 Seneca Ave.

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**Applicant Response (5 minute maximum)**  
**Historic Zoning Commission Discussion**  
**Motion and Vote**



# Case # HZ-23-134

5101 Tennessee Ave.

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Neighborhood: St. Elmo

Historic Structure: Yes, ca. 1960

Description of proposed project: Rear porch addition



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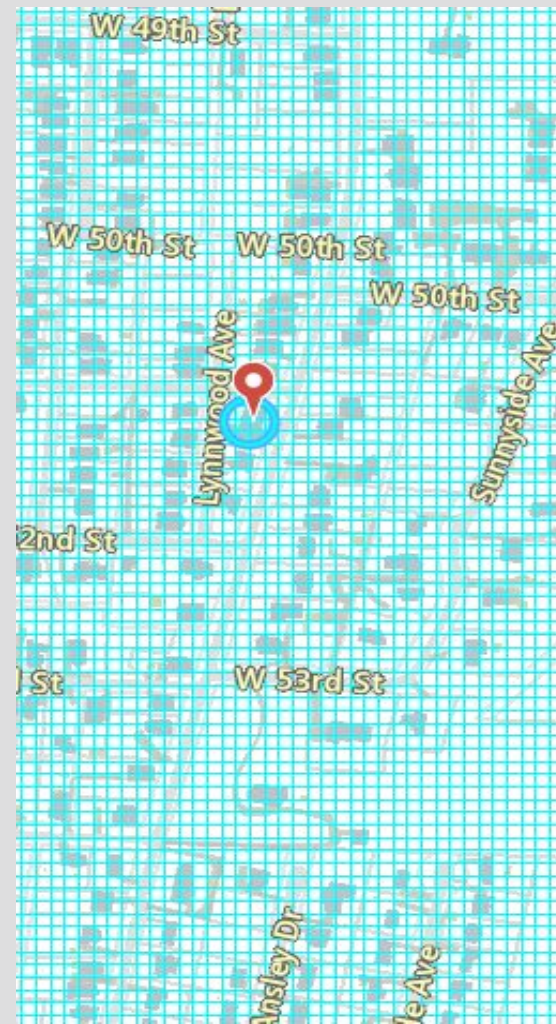
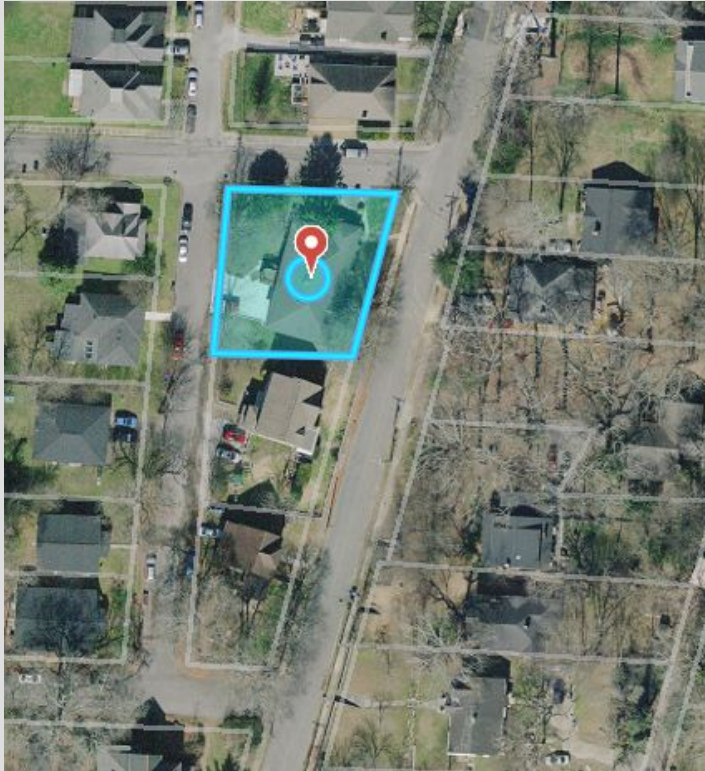
Historic Zoning History:

None

# Map Location

Case # HZ-23-134

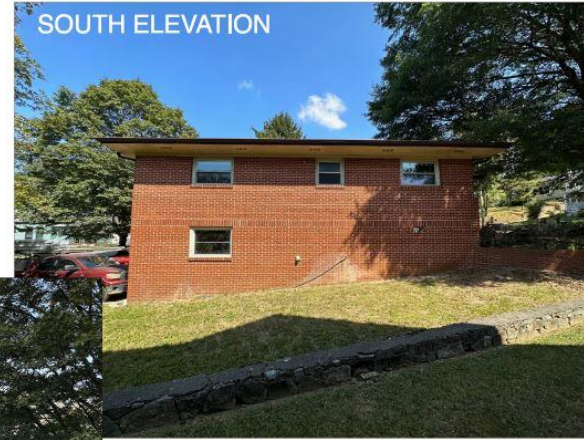
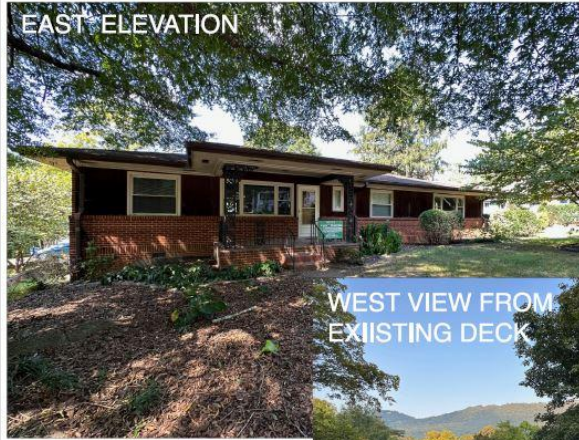
5101 Tennessee Ave.





# Property Photos

Case # HZ-23-134  
5101 Tennessee Ave.



WEST VIEW FROM  
EXISTING DECK





# Neighboring Photos

Case # HZ-23-134

5101 Tennessee Ave.

ADJACENT-5011 TENNESSEE



ADJACENT-5105 TENNESSEE



ADJACENT-5109 TENNESSEE-REAR



ADJACENT-5101 LYNNWOOD AVENUE

ADJACENT-5109 TENNESSEE



ADJACENT-5105 TENNESSEE-REAR



ADJACENT-5009 LYNNWOOD AVE



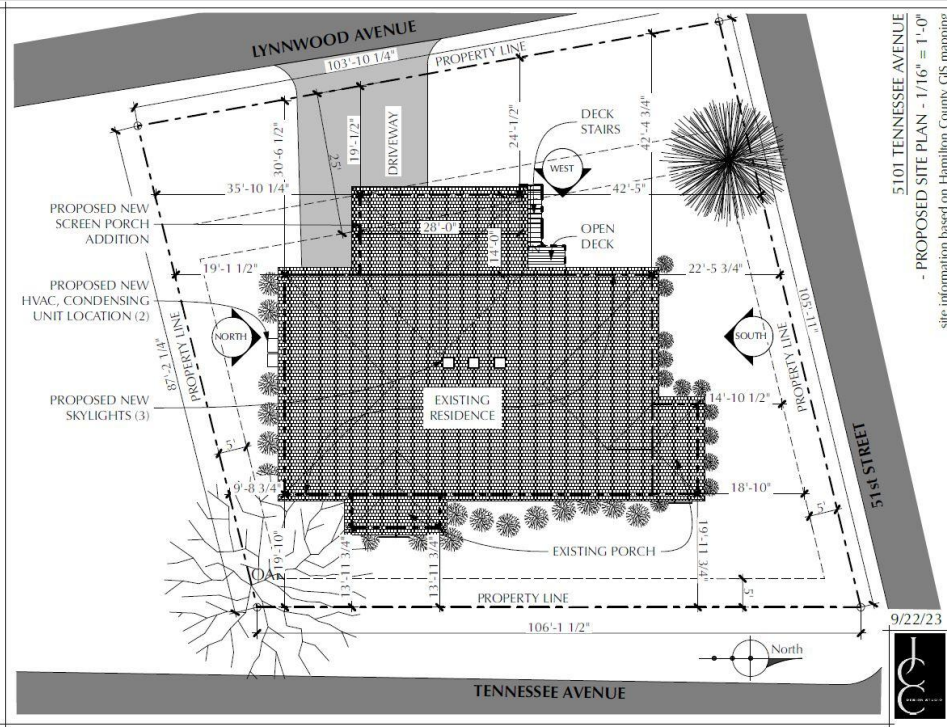
ADJACENT -5103 LYNNWOOD AVE



# Application Information

Case # HZ-23-134

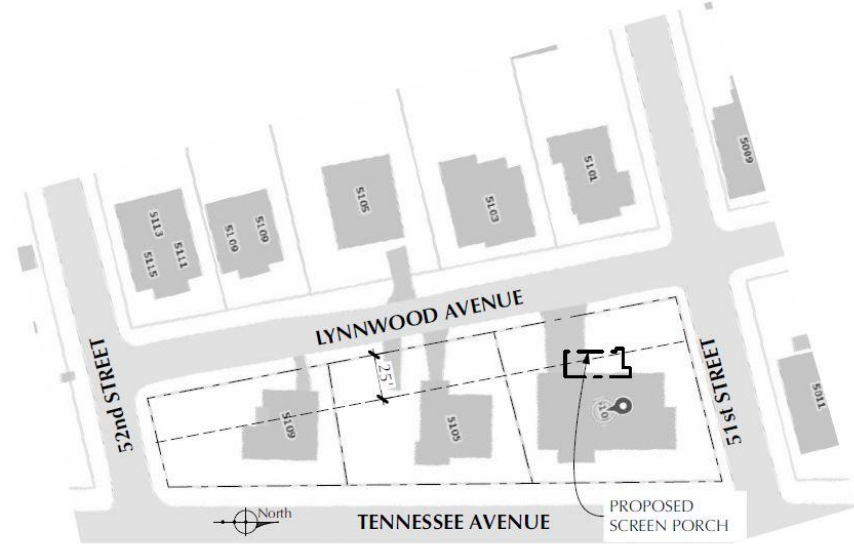
5101 Tennessee Ave.



5101 TENNESSEE AVENUE

- PROPOSED SITE PLAN - 1/16" = 1'-0"

site information based on Hamilton County GIS mapping



**REAR YARD SETBACK- PRECEDENCE PLAN**

# Application Information

Case # HZ-23-134

5101 Tennessee Ave.

October 2023  
Approval



5101 TENNESSEE AVENUE

1

PROPOSED: Perspective

NOT TO SCALE

9/22/23

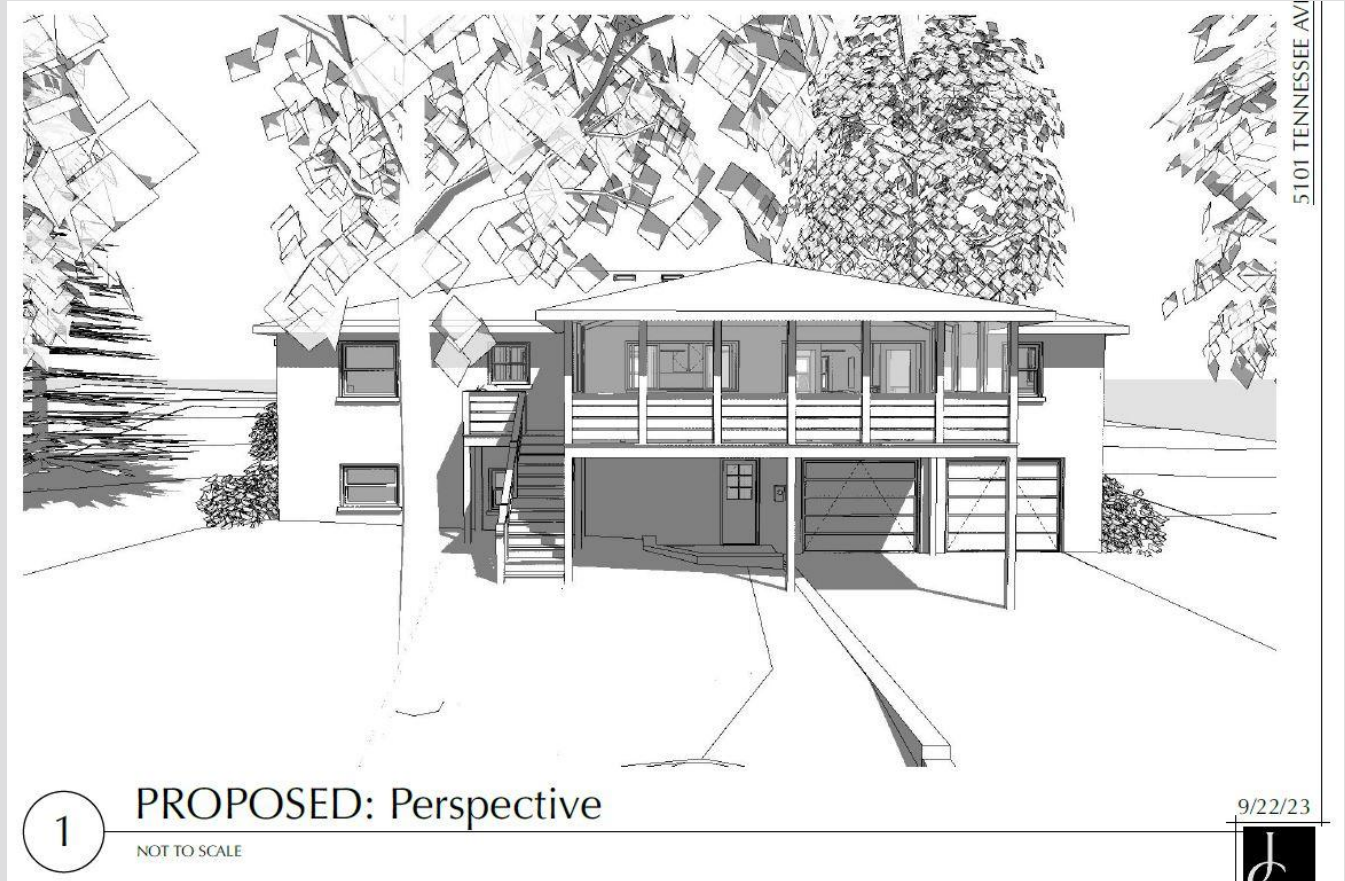


# Application Information

Case # HZ-23-134

5101 Tennessee Ave.

October 2023  
Approval



5101 TENNESSEE AVE

1

PROPOSED: Perspective

NOT TO SCALE

9/22/23





# Application Information

Case # HZ-23-134

5101 Tennessee Ave.

October 2023  
Approval



1

PROPOSED: Perspective

NOT TO SCALE

9/22/23



5101 TENNESSEE AVE

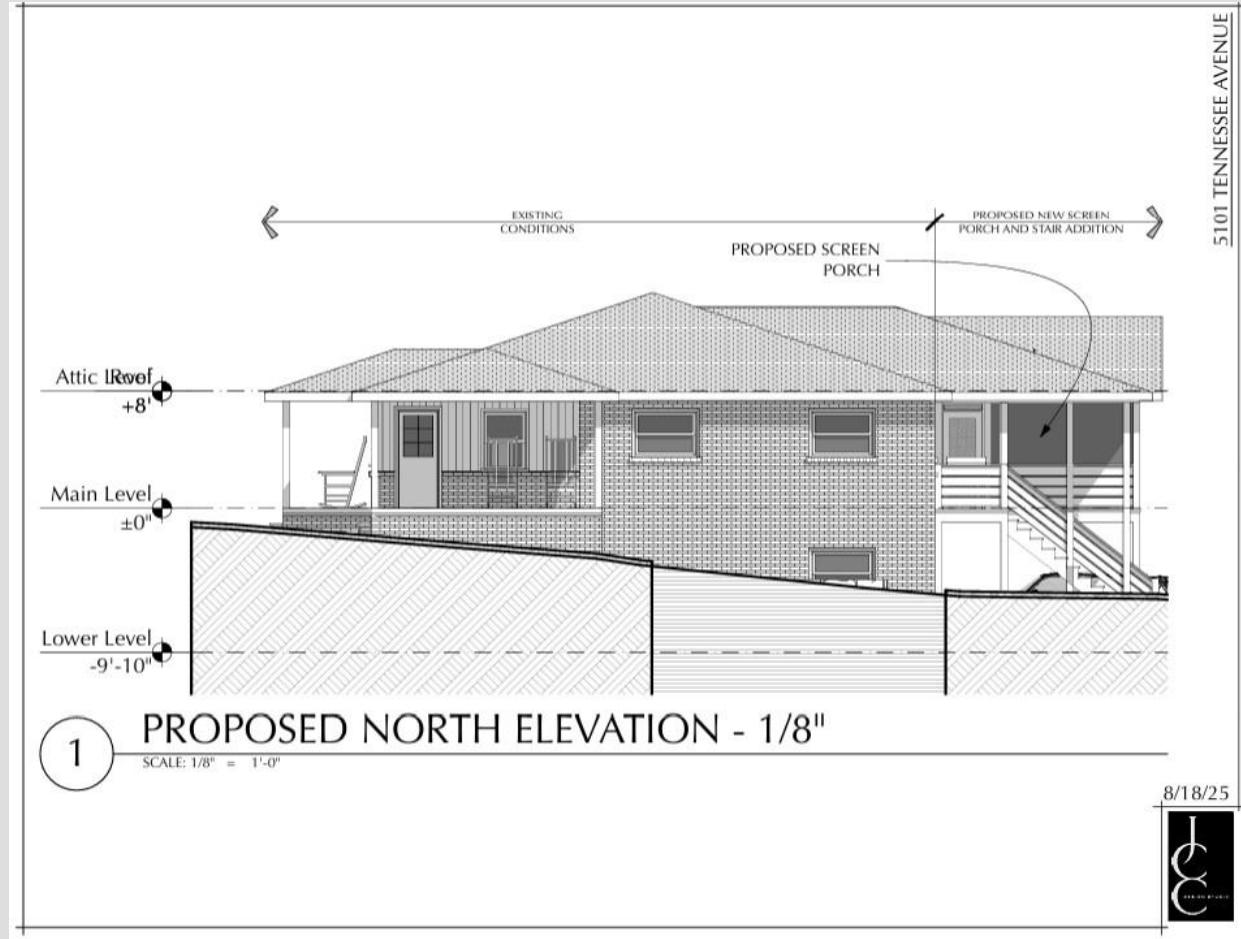


# Application Information

Case # HZ-23-134

5101 Tennessee Ave.

October 2025 Proposal.  
The footprint of the  
screened porch is not  
changing.

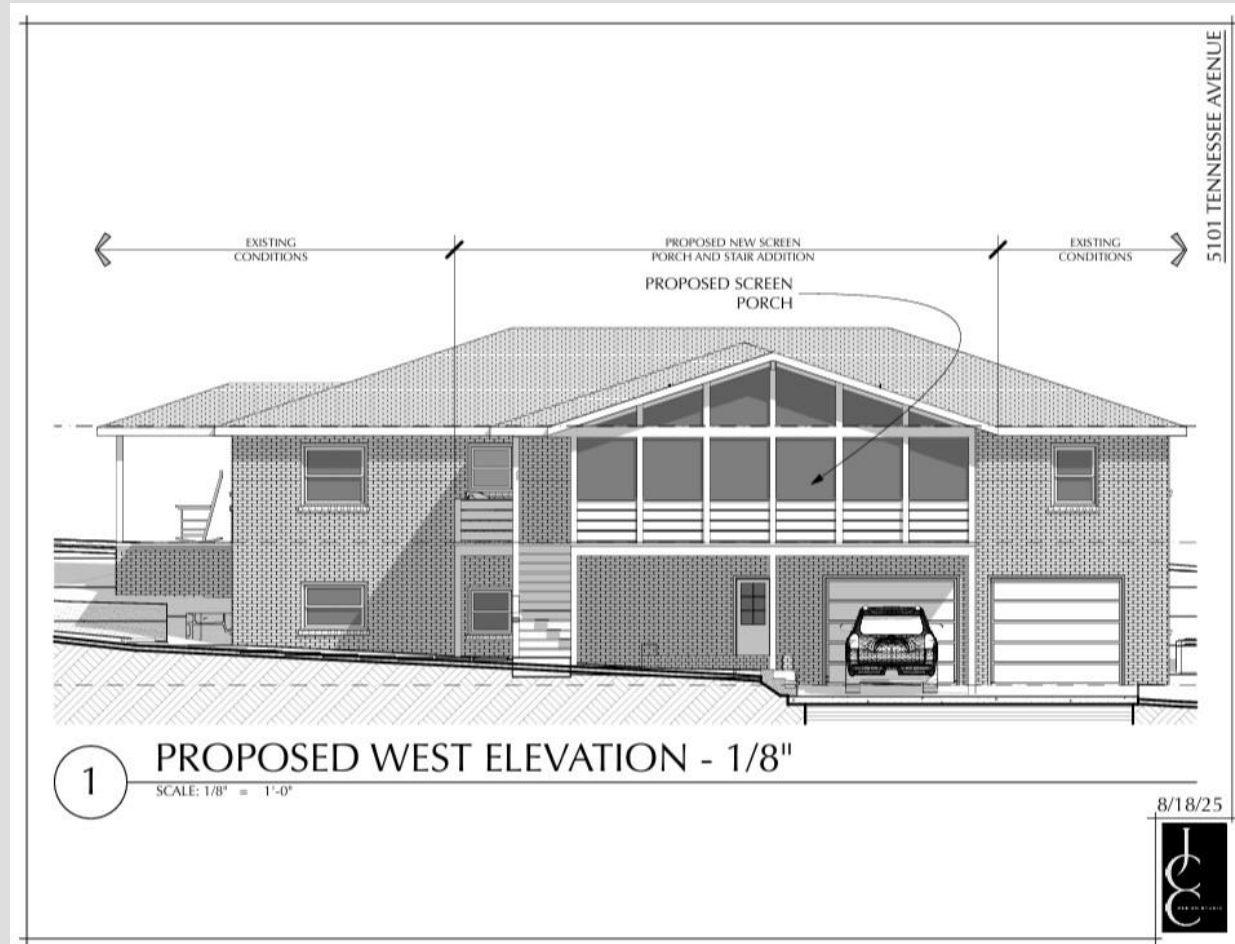


# Application Information

Case # HZ-23-134

5101 Tennessee Ave.

October 2025 Proposal.  
The footprint of the  
screened porch is not  
changing.

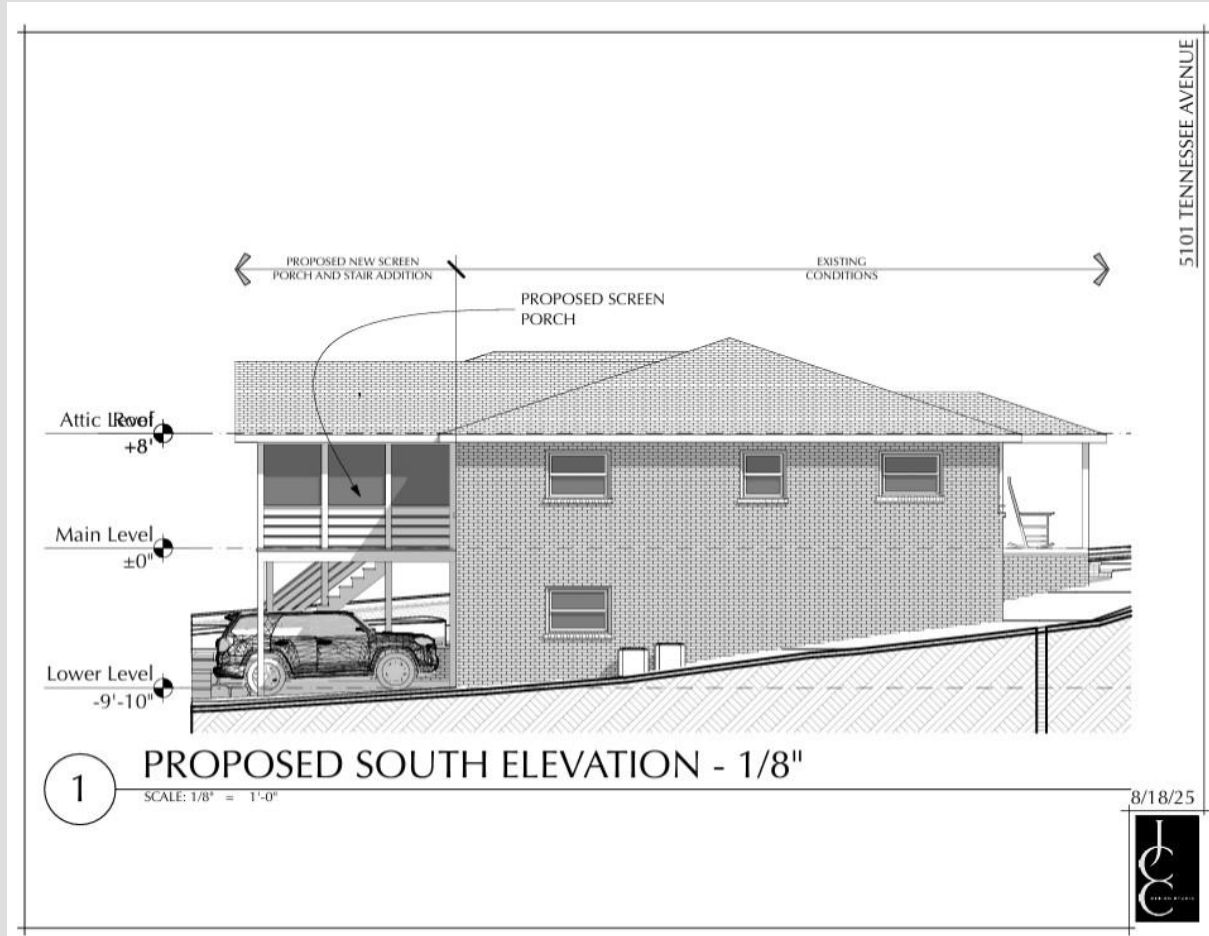


# Application Information

Case # HZ-23-134

5101 Tennessee Ave.

October 2025 Proposal.  
The footprint of the  
screened porch is not  
changing.



# Relevant Saint Elmo Guidelines:

Case # HZ-23-134, 5101 Tennessee Ave.

6.1 Additions Page 33

## Staff Report

### 1. Additions

Buildings must be able to adapt to the needs of each generation of occupants and this may include adding additional living space. In planning Additions the best approach is to site additions where they will not be readily visible from the street, or where they will have the least effect on the building's overall form and plan. The rears of buildings are the best locations for the addition of rooms, wings, porches, or decks.

A. Should be located at the rear of buildings, not on the front or readily visible areas of the sides of buildings.

**B. Should be secondary (smaller and simpler) than the original buildings in scale, design, and placement. The rear screened in porch is smaller in design and placement.**

**C. Should be of a compatible design in keeping with the original building's design, roof shape, materials, color, and location of window, door, and cornice heights, etc. The applicant originally proposed a hipped style roof, but has amended the design to have a gable roof on the rear enclosed porch.**

D. Should not imitate an earlier historic style or architectural period. For example, a Victorian-era Queen Anne style rear porch addition would not be appropriate for a 1920s Craftsman/Bungalow house.

E. Should appear distinguishable from the historic building, not an exact copy of it. Additions should be contemporary in design but compatible with the original building.


F. Should be built in a manner that avoids extensive removal or loss of historic materials and which does not damage or destroy the main architectural features of the building.

G. Should keep the exterior walls of the original building alone and use existing door and window openings for connecting the addition to the building.

H. Should not be made through framing or glassing in the front porch or a prominent side porch.

**I. Additions should be made to the rear, not sides, of the house. The proposed rear screened porch is at the rear. The property fronts three streets. Tennessee Ave., Lynwood Ave., and W. 51st.**





Case # HZ-23-134  
5101 Tennessee Ave.

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**Applicant Presentation (10 minutes maximum)**

Case # HZ-23-134  
5101 Tennessee Ave.

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**Community Comments & Comments by Other Persons**  
(3 minutes maximum per person)





Case # HZ-23-134  
5101 Tennessee Ave.

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**Applicant Response (5 minute maximum)**  
**Historic Zoning Commission Discussion**  
**Motion and Vote**

**Case # HZ-24-56**  
**1402 W. 55th St.**

Neighborhood: St. Elmo

**Historic Structure:** No, vacant lot

**Description of proposed project:** Facade Changes, Windows, Materials



## Historic Zoning History:

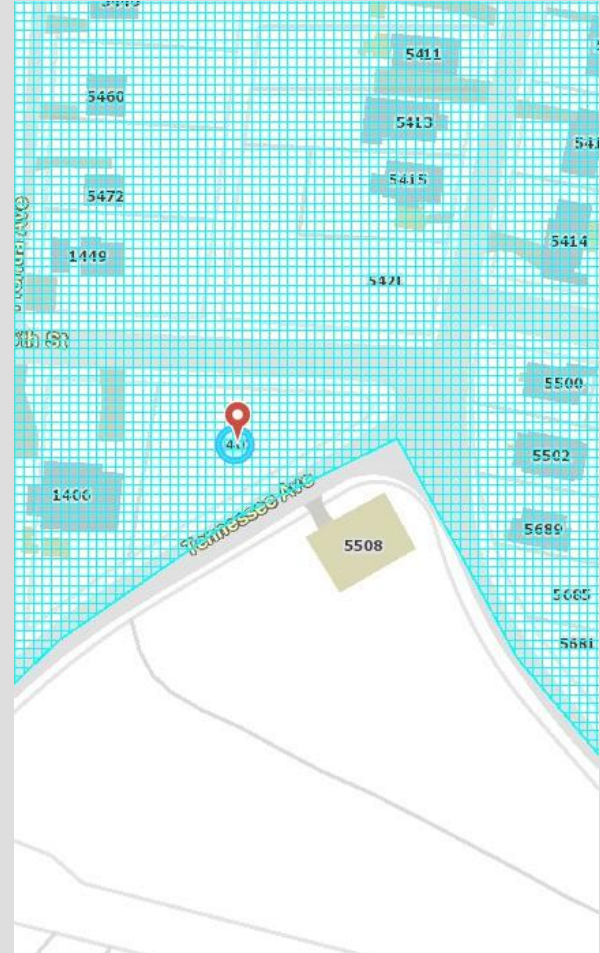
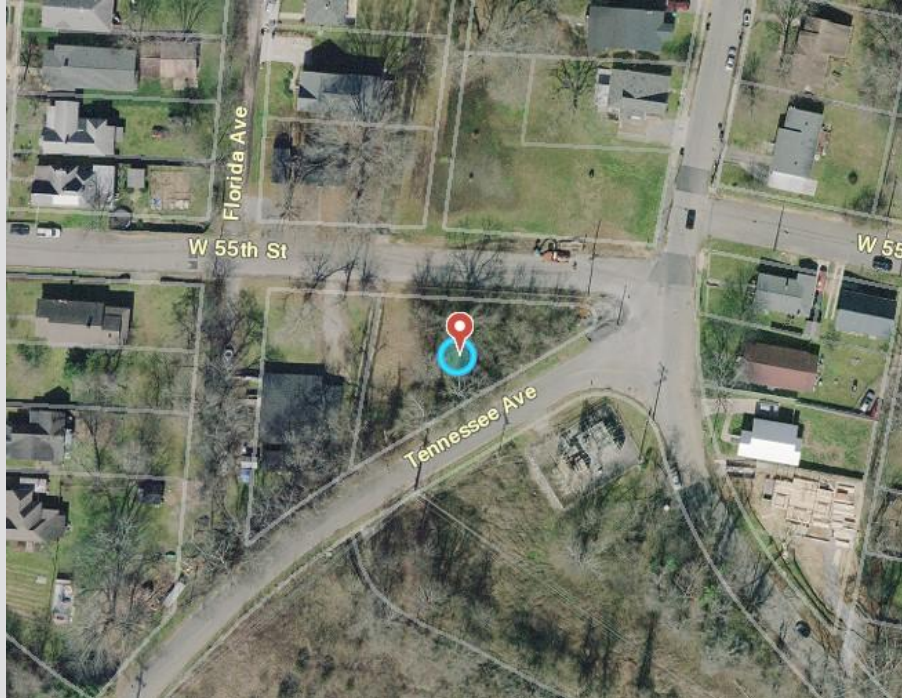
## HZ-23-142: Land Clearing (COA not required for this, application stopped)



# Map Location

Case # HZ-24-56

1402 W. 55th St.



# Property Photos

Case # HZ-24-56

1402 W. 55th St.





# Neighboring Property Photos

Case # HZ-24-56

1402 W. 55th St.



# Neighboring Property Photos

Case # HZ-24-56

1402 W. 55th St.





# Neighboring Property Photos

Case # HZ-24-56

1402 W. 55th St.

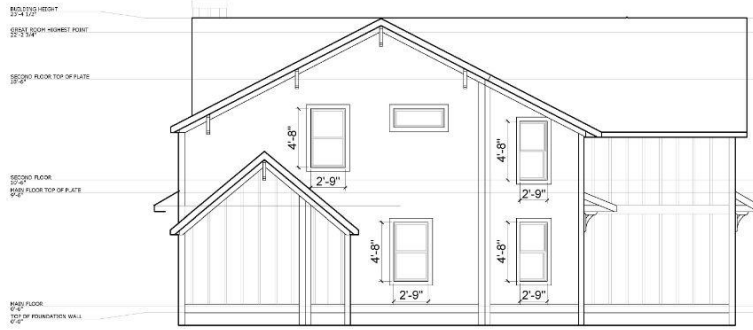


# Application Information

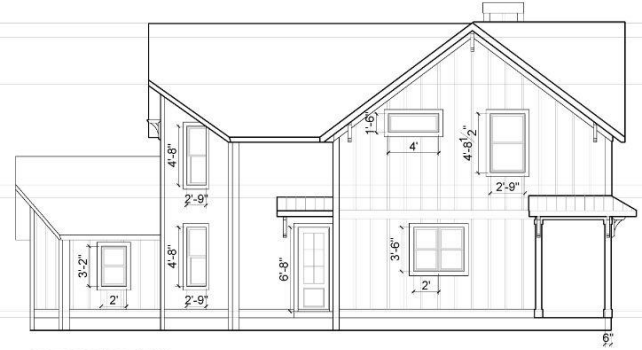
Case # HZ-24-56

1402 W. 55th St.

CONSTRUCTION



BACK ELEVATION



LEFT ELEVATION

VERIFY ALL MEASUREMENTS AND  
NOTIFY HYDROVISION LLC  
PRIOR TO COMMENCING ANY  
WORK.

ALL WORK SHALL BE IN  
ACCORDANCE WITH APPLICABLE  
CODES, ORDINANCES, AND  
REGULATIONS OF ANY PUBLIC  
AUTHORITIES BEARING ON THE  
PERFORMANCE OF THE WORK.  
THE CONTRACTOR SHALL REPORT  
ANY DISCREPANCIES TO  
HYDROVISION LLC FOR  
ADJUSTMENTS PRIOR TO  
IMPORTING SUCH WORK.

DRAWN BY:  
JP

DATE:  
05-21-2024

SCALE:  
1/4" = 1'-0"

SHEET TITLE:  
ELEVATIONS

A  
2.0

NOT FOR CONSTRUCTION

Previously Approved Design, June 2024

# Application Information

Case # HZ-24-56

1402 W. 55th St.



Previously Approved (amended) Design, May 2025

# Application Information

Case # HZ-24-56  
1402 W. 55th St.

COA from May 2025

Docusign Envelope ID: 9AA7A724-17B6-47FE-9A40-9117A74C2733

## CHATTANOOGA HISTORIC ZONING COMMISSION

CASE#: HZ-24-56

APPLICANT: Jesus Lopez

PROPERTY ADDRESS: 1402 W. 55th Street

HISTORIC DISTRICT: St. Elmo

DATE: May 15, 2025

The Chattanooga Historic Zoning Commission, pursuant to Chattanooga City Code, Article II, Chapters 10-10 through 10-20, has approved the following work:

APPROVED: As submitted at the May 2025 CHZC Meeting.


CONDITIONS: 1. Foundation to be brick, no more than 4' in height 2. Porch depth less than 6' (5' 11") not intended to set precedent

All work must meet the Design Guidelines as approved by the Chattanooga Historic Zoning Commission. If plans change, a new application will be required. If work is not started within 6 months of issue date, a new Certificate of Appropriateness will need to be issued. This is NOT a building permit. Please contact Building Inspections prior to starting the project.

For further information: Historic Preservation Planner, City of Chattanooga, 1250 Market Street, Suite 1000, Chattanooga 37402 423.643.5891

(Display this notice in a visible location on your property until the project is completed.)

CHZC Approval

DocuSigned by  


Chairman, CHZC

Staff Approval



Staff Signature



# Application Information

Case # HZ-24-56

1402 W. 55th St.

BRICK LIGHTER AND MORE RUSTIC FOR  
FOUNDATION AND PORCH (HERRINGBONE)



CHARCOAL (26ga) STANDING SEAM:

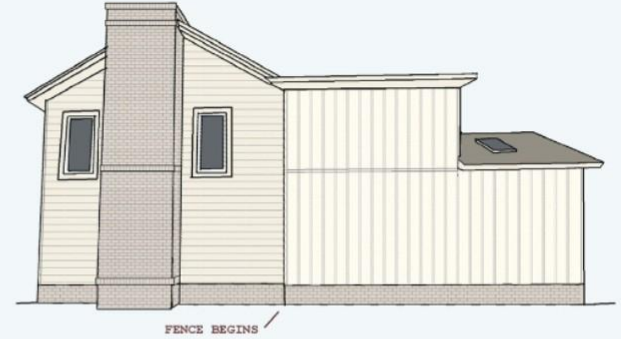


## 1402 W 55TH STREET ELEVATIONS

FRONT ELEVATION



RIGHT SIDE ELEVATION



BACK ELEVATION



LEFT SIDE ELEVATION



Francesco Pizzuto  
to me

Wed, Oct 8, 2:57 PM (2 days ago)



Hello Cassie, just so you know the cladding on the chimney will not be brick. It will go back to what was previously approved which is the board and batten. Thanks.

# Application Information

Case # HZ-24-56  
1402 W. 55th St.

CLIMBING ROSES FOR OPEN FENCING  
SNOWBALL HYDRANGEA



WEeping WILLOW TREE / EASTERN  
REDBUD TREE



CRABAPPLE TREE / TULIP MAGNOLIA



LAVENDER, HYDRANGEA

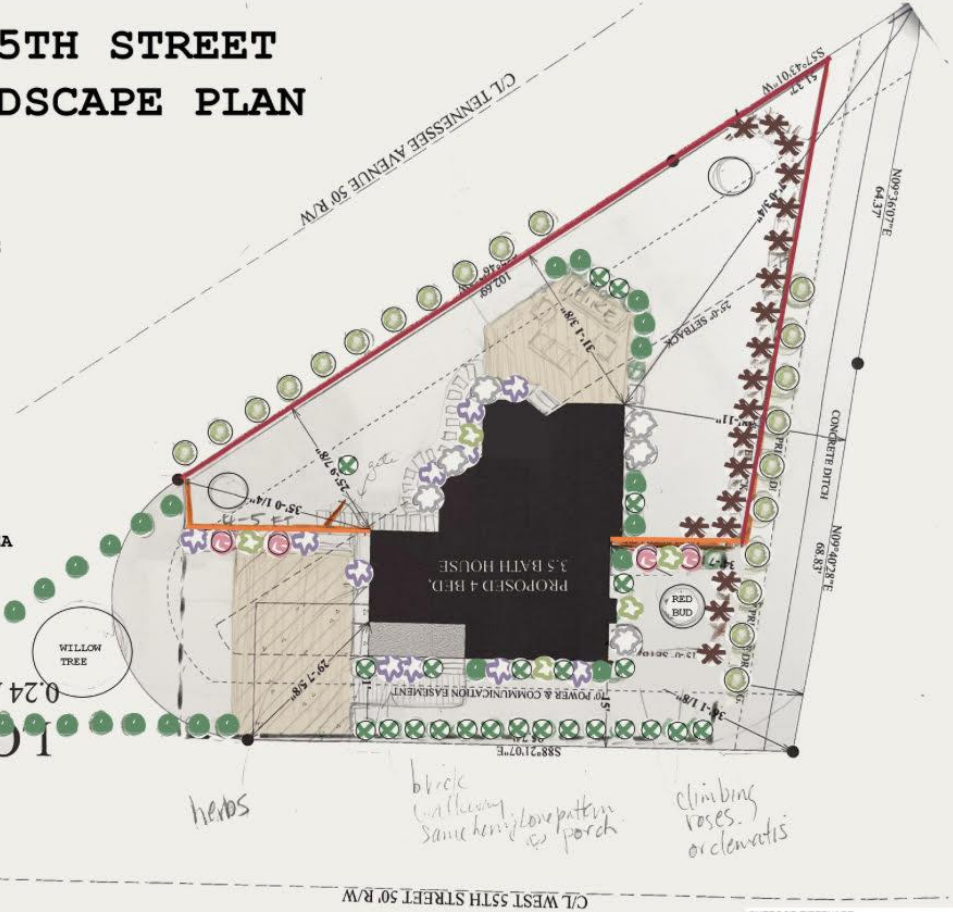


## 1402 W 55TH STREET YARD/LANDSCAPE PLAN

- 6FT PRIVACY FENCE
- 4-5FT FENCE
- PEA GRAVEL
- ITALIAN CYPRESS
- LEYLAND CYPRESS
- ROSEMARY
- BOXWOOD
- LAVENDER
- ORNAMENTAL GRASS
- SNOWBALL HYDRANGEA
- CLIMBING ROSES



LOT 1  
0.24 ACRES



# Application Information

Case # HZ-24-56

1402 W. 55th St.

3. We remove the window on the back right and left side of the bump out and installed transom window on the back wall.

4. The siding will be the same as previously approved on the right, back and the left side of the house. ( no changes).

The only siding change is on the front.

5. Adding steps on the left-hand side of the front porch with 1/2 brick columns.

6. Covered deck with a gable open roof.

Not draw but we will do the handrails standard 36"to 42" hight with 2 x 2 spindles. We added a door coming off of the master to the covered deck.

7. 3-4 foot closed fence on the front with a 6 foot privacy on the sides and back.

4-5 foot gate on the front right and left.

8. Some type of stone hardscape with a Brick detach chimney on the back. See drawing.

9. It's not drawn but off the back left of the house where the door is, a 5 x 5 landing with stairs and standers handrails to match the other deck.

# Relevant Saint Elmo Guidelines:

Case # HZ-24-56, 1402 W. 55th St.

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6.22 New Construction Page 52

## Staff Report

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### 22. New Construction (New Buildings)

- A. Of primary buildings should maintain, not disrupt, the existing pattern of surrounding historic buildings along the street by being similar in:
1. Shape. Variations of rectangular and square forms are most appropriate for the district;
  2. Scale (height and width). Most of the district is zoned R-2 which restricts new construction to no more than two-and-one half stories or thirty-five feet in height. Th is maximum height would be appropriate for most blocks in the district. On blocks which have predominantly one-story buildings, new construction of one-to two stories would be more appropriate;
  3. Roof shape and pitch. Roof slope ratio for new construction should be a minimum of 6:12 to a maximum of 12:12 (6:12 refers to six inches of rise to 12 inches of run in measuring slopes). Roof for of gable and hipped variations are more appropriate than those of flat, mansard, or gambrel forms. Flat roofs are appropriate only for commercial buildings;
  4. Orientation to the street. All buildings should have at least a secondary entrance and some type of entry porch on the front of the building. Most buildings in St. Elmo have their fronts oriented towards the street and this characteristic should be maintained by new construction;



# Staff Report

Case # HZ-24-56, 1402 W. 55th St.

---

5. Location and proportion of porches, entrances, windows, and divisional bays. Porches should have roof forms of gable or shed design and at least cover the entrance. Porches which extend partially or fully across the main façade are recommended. Porch columns and railings should be simple in design in square or round shapes. Columns should be a minimum of six inches and a maximum of ten inches square or in diameter. Porch railings should have balusters which are no more than two inches square or in diameter. **The applicant is proposing adding a second stair to the front porch. The applicant is proposing a brick herringbone floor for the front porch. The applicant is proposing adding a brick base to the front porch columns. The applicant is proposing a rear, porch with a gable roof on the “back” elevation.**

New windows should be rectangular sash whose proportions on the main façade should not exceed three-to-one in a height to width ratio or be any less than two to one in height-to-width (two to one proportions are preferred). No horizontal sash, casement, or awning type windows should be placed on the fronts of buildings. The use of plastic or “snap-in” muntins (window pane dividers) is discouraged.

6. Foundation height. Height of foundations should be a minimum of 1 foot, six inches and a maximum of two feet above grade. No slab. Foundations or at-grade foundations should be utilized on the fronts or readily visible sides of buildings;

7. Floor-to-ceiling heights. Floor to ceiling heights should not exceed ten feet and not be less than eight feet;

8. Porch height and depth. Porch heights should be consistent with those of adjacent buildings. Porch depths should be a minimum of six feet;

# Staff Report

Case # HZ-24-56, 1402 W. 55th St.

---

## 9. Material and material color.

**Foundations:** Most foundations are of brick, poured concrete or concrete block. Poured concrete is more appropriate than concrete block. If concrete block is used, a stucco wash is recommended to provide a smooth surface. Split faced concrete block is also an acceptable foundation material.

**Brick Dwellings:** If the new construction is of brick, the brick should closely match typical mortar and brick color tones found in the district and along the block. White or light mortars provide too much contrast with typical dark brick colors and should be avoided.

**Frame Dwellings:** If the new construction is of frame, the preferred exterior material is horizontal wood siding which is a minimum of four inches and a maximum of six inches in width. The use of masonite is also acceptable as long as it meets these size recommendations. The use of grained pressboard or chipboard is less appropriate but is acceptable if it meets these size recommendations. Vertical board siding is not appropriate for new construction on the fronts or sides of buildings. The use of vinyl or aluminum siding is also discouraged and should only be used on rear or non-readily visible sides of buildings. **The applicant is proposing to change portions of the siding on the front to vertical board and batten.**


**Windows:** Wood construction is preferred for windows, especially those on the fronts of buildings. However, the use of vinyl clad or aluminum windows is also acceptable as long as they follow proper proportions (see window guidelines). The use of dark anodized aluminum windows or storm windows is appropriate. **The window configuration has changed on the rear of the dwelling. One window is to be removed on the “right side elevation”, a transom window and door to the proposed rear deck has been added to the “back elevation.”**

**10. Details and texture.** The width of window and door trim should be at least three and one-half inches. Roof eaves should have a minimum depth of eight inches. No imitative architectural features such as vergeboard (“gingerbread”), roof balustrades, or prominent stained glass windows are appropriate for new construction.

**11. Placement on the lot.** Front and side yard setbacks should respect the setbacks found along the block on which the building is sited. The minimum front yard setback under R-2 zoning is 25 feet. Requirements for side yard setbacks are a minimum of 10 feet. **The applicant is proposing a brick stand alone outdoor fireplace at the rear. It will be within a 6’ privacy fence.**

B. Of primary buildings, while blending in with adjacent buildings, should not be too imitative of historic styles so that new buildings can be distinguished from historic buildings.

NOTE: A new building becomes too imitative through application of historic architectural decoration such as gingerbread, vergeboards, dentils, fish scale shingles, etc. These kinds of details are rarely successful on a new building. They fail to be accurate (are usually smaller, skimpy, versions of authentic ones) and should be avoided.



Case # HZ-24-56  
1402 W. 55th St.

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**Applicant Presentation (10 minutes maximum)**


Case # HZ-24-56  
1402 W. 55th St.

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**Community Comments & Comments by Other Persons**  
(3 minutes maximum per person)







Case # HZ-24-56  
1402 W. 55th St.

---

**Applicant Response (5 minute maximum)**

**Historic Zoning Commission Discussion  
Motion and Vote**

**Case # HZ-22-143**  
**503 Battery Place**

## Neighborhood: Battery Place

## Historic Structure: Yes, 2025

**Description of proposed project:**As Built Changes, New Construction



## Historic Zoning History:

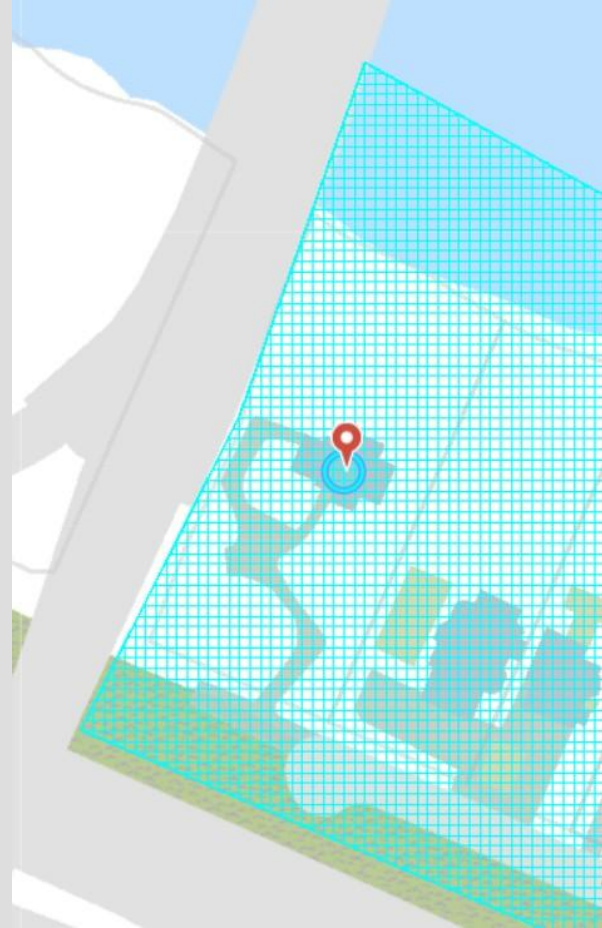
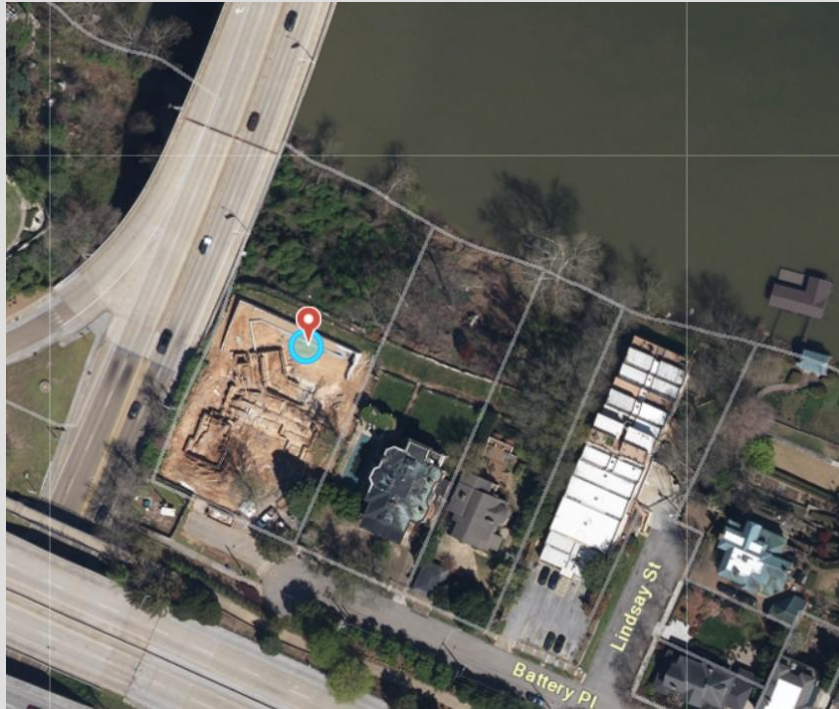
## HZ-20-113 demolition of entire structure

## HZ-20-158: New construction of residents

# Map Location

Case # HZ-22-143

503 Battery Place



# Property Photos

Case # HZ-22-143  
503 Battery Place





# Neighboring Photos

Case # HZ-22-143  
503 Battery Place



# Neighboring Photos

Case # HZ-22-143  
503 Battery Place





**Case # HZ-22-143**  
**503 Battery Place**

**Case # HZ-22-143**  
**503 Battery Place**



## Previously Approved Plans, 2023



**Case # HZ-22-143**  
**503 Battery Place**



2 PARTIAL SOUTH ELEVATION @ GARAGE  
1/4" = 1'-0"

## Previously Approved Plans, 2023

# Application Information

Case # HZ-22-143

503 Battery Place

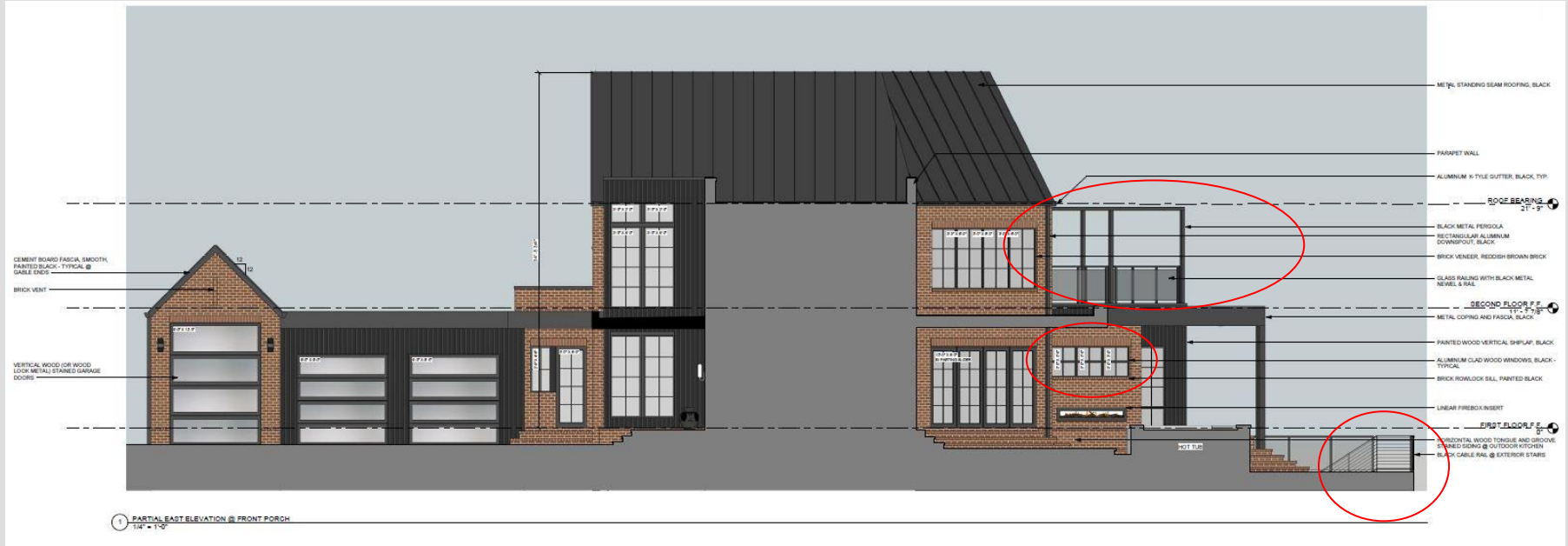


Previously Approved Plans, 2023

# Application Information

Case # HZ-22-143

503 Battery Place



Previously Approved Plans, 2023

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Previously Approved Plans, 2023



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Previously Approved Plans, 2023



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Previously Approved Plans, 2023

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# Application Information

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# Application Information

Case # HZ-22-143

503 Battery Place



# Relevant Battery Place Guidelines:

Case # HZ-22-143, 503 Battery Place

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Page 33, 5.1 New Construction

Page 24. 4 Guidelines for Site Design

## Staff Report

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### **5.1 New Construction**

The following guidelines offer general recommendations for the design of all new construction in the Battery Place Local Historic District. The goal is to help property owners who desire to construct a new building or an addition to an existing building to design it in a way that respects the existing historic styles and character of the neighborhood. These guidelines are intended to provide a general design framework for new construction. Good designers can take these clues and have the freedom to design appropriate, new architecture for Battery Place. There are many criteria to consider in determining whether a proposed new construction is appropriate and compatible; however, the degree of importance of each criterion varies as conditions vary. For instance, setback, scale, and height tend to be more important in Battery Place than roof forms or materials since there is already such a variety of the latter.

#### **General Guidelines**

- Additions to historic buildings and outbuildings on the property should relate to the style of that building.
- For new construction, because of the already far-ranging styles of architecture in the district, style is not as important as scale and visual impact.
- New construction should be compatible in design and scale with single-family dwellings.
- Views should be taken into consideration from, in priority order, the street, the river, and expressways. Site design guidelines should be followed.

# Staff Report

Case # HZ-22-143

503 Battery Place

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## **Massing and Building Footprint**

Mass is the overall bulk of a building and footprint is the land area it covers. In Battery Place, most buildings are not massive in relation to their lot size and surroundings. The historic buildings in the district are mostly medium to large multi-story homes; the interspersed historic multi-family units retain much of the same proportions.

1. New construction that is visible from the street, highways, or river should relate in footprint and mass to the historic forms in the district.

## **Complexity of Form**

A building's form, or shape, can be simple (a box) or complex (a combination of many boxes or projections and indentations). The level of complexity usually relates directly to the style or type of building.

1. In general, use forms for new construction that relate to the historic forms in the district.

## **Directional Expression**

This guideline addresses the relationship of height and width of the front elevation of a building mass. A building is horizontal, vertical, or square in its proportions. Most historic buildings in the district have a vertical expression, although a few of the smaller, cottage-type houses have a horizontal expression.

1. In new construction, respect the directional expression (or overall relationship of height to width) of most historic buildings in the district.

For all but small-sized buildings, a vertical expression is probably most appropriate.

## **Orientation**

Orientation refers to the direction in which the front of a building faces.

1. The facades of new construction should be oriented to the street.
2. Secondary orientations to the river are appropriate.
3. Primary buildings should not be oriented to side streets or to the interior of the lot.

# Staff Report

Case # HZ-22-143

503 Battery Place

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## Height and Width

The actual size of a new building can either contribute to or be in conflict with a historic area. The underlying zoning in Battery Place allows a building to be up to 35 feet or 2.5 stories in height, but with height increases allowed of 1 foot for every foot the building is set back beyond 100 feet. There is historic precedent in the district for 3-story buildings of vertical expression.

1. New construction proportions should respect the average height and width of the majority of historic buildings in the district. Most buildings in the district are at least two stories tall.
2. The width of new construction should be proportional to the width of the lot. New buildings should not overwhelm the site.

## Scale

Height and width also create scale, or the relationship between the size of a building and the size of a person. Scale also can be defined as the relationship of the size of a building to neighboring buildings and of a building to its site. The design features of a building can reinforce a human scale or can create a monumental scale. All of the buildings in Battery Place have a human scale.

1. New construction should be on a scale similar to the traditional buildings in the district.
2. Provide features on new construction that reinforce the human scale, by including elements such as porches and decorative features.

## Roof

**Roof design, materials, and textures vary greatly in Battery Place. In some cases, the roof is not very visible. The most common forms among the historic houses are hipped and gable roofs. In general, the roof pitch is as important as roof type in defining district character. Common roof materials in the historic district include standing seam metal and composition shingles.**

1. **When designing a new building, respect the character of roof types and pitches on historic forms in the district.**
2. **Use traditional roofing materials if possible or choose textured shingles. Original drawings showed glass and steel rooftop decks on the river/Veterans Bridge side. These were not installed and the applicant does not want to install them.**



# Staff Report

Case # HZ-22-143

503 Battery Place

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## Openings: Doors & Windows

Traditionally designed houses in Battery Place have distinctive window types and patterns and doorway designs that often relate to the architectural style of the historic dwelling. **Various windows and openings have been altered or removed that were previously shown on the approved drawings.**

1. The rhythm, patterns, and ratio of solids (walls) and voids (windows and doors) of new buildings should relate to and be compatible with historic forms. Windows, particularly tall composite windows, are a dominant feature on the facades of most historic buildings in Battery Place.
2. The size and proportion (ratio of width to height) of window and door openings of a new building's primary facades should be similar to and compatible with those on facades of historic buildings.
3. Window types should be compatible with those found in the district, typically some form of double-hung or casement sash.
4. Traditionally designed openings generally have a recessed jamb on masonry buildings and have a surface-mounted frame on frame buildings. New construction should follow these methods as opposed to designing openings that are flush with the wall.
5. The entrances of some of the district's historic buildings are framed by decorative elements. Consideration should be given to incorporating such elements in new construction.
6. If small-paned windows are used in a new construction project, they should have true divided lights and not use clip-in fake muntin bars.

## Porches and Porticos

**Most of the residences in Battery Place have some type of porch, with simple stoops or recessed areas being the most common but with full-width arcades and decorative wrap around porches also present. A number of houses have porches on the rear facing the river.**

1. Because porches and porticos are so common in the district, strong consideration should be given to including a porch or similar form in the design of any new construction in the neighborhood. **The street side inset porch has different colors, materials, and openings than what was approved on the drawings. The rooftop glass and steel porches are not being installed on the river/Veteran's Bridge side.**

# Staff Report

Case # HZ-22-143

503 Battery Place

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## Materials and Texture

Historic buildings in Battery Place use such traditional materials as brick, wood, shingles, stone, and stucco.

1. The selection of materials and textures for a new building should include those traditionally occurring in the district.
2. Synthetic sidings such as vinyl or textured metal are not historic cladding materials in the historic district. Imitative siding should not be used.

## Architectural Details

The details and decoration of Battery Place's historic buildings are quite varied. Such details include cornices, roof overhang, chimneys, lintels, sills, brackets, masonry patterns, decorative windows, entrance decoration, and porch elements. The important factor to recognize is that many of the older buildings in the district have decoration and noticeable details. It is a challenge to create new designs that use historic details successfully. The most successful new buildings take their clues from historic images and reintroduce and reinterpret designs of traditional decorative elements.

## Development on the Bluff

In order to retain the historic and scenic character of the district, the following is recommended regarding views and new construction.

1. Use muted colors and materials. Avoid bright colors or reflective materials.
2. Limit mass of buildings or paved areas.

# Staff Report

Case # HZ-22-143

503 Battery Place

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## 4. Guidelines for Site Design

### 4.1 Site Design Issues

Site design guidelines should apply to all new construction as well as rehabilitation projects. Battery Place Local Historic District exhibits a great variety of site design and site features. The form most characteristic of Battery Place is the deep lot stretching from the street to the river. These lots have two “fronts,” one toward the street and one toward the river. Another distinguishing feature of these lots is the relative isolation of each property and the tradition of individuality of design not just in the buildings but in the site features. Most of these lots have sweeping, open front lawns, a side driveway, and sometimes a parking area. Portions of the rear and side yards are sometimes enclosed by walls or dense landscaping. Other lots are smaller, generally the front portion of a deep lot. These lots function like typical neighborhood lots. Outbuildings and other constructed site features include garages, pools, patios, and gazebos. There also are a variety of walls, fences, and walks as well as terraces and terraced gardens. New construction has already set precedents that vary from the historic norm. Some of these variations do not enhance district character and goals and therefore should not be reinforced in future new construction. In addition, the more intense uses bring with them parking lots, trash storage, signs, lighting, and other appurtenances that can overpower the site. Battery Place is highly visible from the river and has historic importance as the site of cannon placements during the Civil War as well as a long tradition of river usage for industry. Ensuring uses and designs that respect this role is therefore a critical part of maintaining district integrity.

# Staff Report

Case # HZ-22-143

503 Battery Place

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## 4.2 Building Placement

### Setback

Setback is the distance between the building eave and the property line or right-of-way boundary at the front of the lot. Setbacks in Battery Place vary greatly, depending mostly on the lot configuration. Buildings on the deep lots tend to be placed far back from the street. Those on front lots have a shorter setback, more typical of most early-twentieth-century neighborhoods.

1. Locate new construction at the setback distance from the street established by any adjacent historic residences.

### Spacing

1. Spacing refers to the side yard distances between buildings. As with setback, spacing in Battery Place varies. In most cases the primary building is placed approximately in the center of the lot.
2. Spacing for new construction should maintain any definite rhythm established by existing historic houses on adjacent or similarly situated lots.

### Orientation

Orientation is the direction a building faces. In Battery Place, many buildings have a secondary orientation toward the river.

3. Orient buildings toward the street.
- Consider a secondary orientation to the river if the site is highly visible.
  - Avoid a sideways or slanted orientation.



# Staff Report

Case # HZ-22-143

503 Battery Place

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## 4.3 Driveways, Parking Lots, and Walks

Parking is provided along Battery Place and the side streets. Because of the depth of the lots, most residences have driveways beside the house. There also are a number of private parking lots. Appropriate paving materials for driveways and private walks can help reinforce the character of the district. Strategically placed landscaped screening can help reduce the visual intrusion of parking areas.

1. Attempt to reduce the need for off -street parking by encouraging the use of on-street parking.
2. Parking lots should be located only on lots with the size or configuration to accommodate them without significant visual impact.
3. Do not place parking lots so that they are visible from the bridge or river.
4. Large paved areas for parking should not be placed in the front yard unless it can be shown that landscaping, grade, and other design elements are incorporated and make this the best choice compared to elsewhere on the lot.
5. Design parking areas to be as unobtrusive as possible.
  - Place parking to the side and rear of buildings and work with grade changes.
  - Consider using several smaller parking areas rather than one large lot.
  - Clearly define curb cuts.
6. Screen any parking areas that would be prominently visible from a public right-of-way or the river, using either year-round landscaping or sufficient height or fences or walls of attractive design.
7. Semi Circular driveways with two entry points on the front of the lot are appropriate only for large elaborately designed buildings and should be coupled with appropriately designed landscaping or fences.
8. Retain historic paving materials used in walks and driveways and replace damaged areas with matching materials.
9. Insure that new paving materials are compatible with the character of the area. Materials such as brick pavers, exposed and aggregate or patterned concrete, and flagstones are examples of distinctive and attractive applications. Color and texture should be carefully reviewed prior to installation. Avoid large expanses of bright white or gray concrete surfaces.

# Staff Report

Case # HZ-22-143

503 Battery Place

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## 4.4 Outbuildings and Site Features

A number of houses in Battery Place have garages or other outbuildings. Other constructed site features include patios, gazebos, pools, and steps down the bluff .

1. Retain existing historic garages, outbuildings, and site features.
2. Design any new outbuildings to be compatible with the style of the major buildings on the site, especially in materials and roof slope.
3. New garages or outbuildings should be located to the side or rear of the primary building and in a manner that reflects traditional placement patterns within the district.
4. The scale of new garages or outbuildings should not overpower the primary building or the size of the existing lot.
5. The design and location of any new site features should relate to the existing character of the property.
6. Uses such as recreation areas should be screened from view if possible. Uses that would detract from the view from the river should if possible be sited or designed to reduce that impact. Screening, using grade changes, and placement on the lot should be considered.

# Staff Report

Case # HZ-22-143

503 Battery Place

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## 4.5 Fences, Walls, and Walks

Battery Place contains many types of walls and fences, most of which are of good craftsmanship and design. These include low stone walls and brick and wrought iron fences. Some fences of modern construction are not overall assets to district character.

1. Keep front yards open, using at most a semi-transparent or low fencing material. Avoid the use of solid masonry walls in the front which would visually enclose the property from more open neighboring sites.

2. Retain traditional fences, walls, and hedges. When a portion of a fence or wall needs replacing, salvage original parts for a prominent location from a less prominent location if possible. Match the original in material, height, and detail. If this is not possible, use a simplified design of similar materials and height.

**3. The design of new fences and walls should blend with materials and designs found in the district. Commonly used materials are stone, brick, and wrought iron. Shrubbery hedges also can be borders. Often the materials relate to the materials used elsewhere on the property. Proposed stairs and aluminum fencing along the river side have not been installed.**

4. The scale and level of ornateness of the design of any new walls and fences should relate to the scale and ornateness of historic buildings in the district.

5. The height of the fence or wall in general should not exceed 3.5 feet in the front or 6 feet in the side or rear.

6. Privacy fences are not appropriate in front yards and should not be the dominant feature in any portion of the lot visible from the street or the river.

7. Do not use materials such as chain link fencing, concrete block walls, or landscaping timbers in front yards or visible side yards. Camouflaging fences with hedge or vine is recommended.

8. Paths and steps on the river bluff should use muted colors and be of unobtrusive design.

# Staff Report

Case # HZ-22-143

503 Battery Place


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## 4.6 Appurtenances

Site appurtenances include utilities, trash storage, outdoor lighting, signs, and other utilitarian items placed in yards or attached to buildings. In most cases in Battery Place, site appurtenances are not very visible. However, these modern accessories tend to be more present in the newer apartment and condominium uses and have considerable potential to detract from district character. For all properties in the district, the placement of appurtenances and the effect on the site and on the building should be evaluated. Signs are a rare need in the district.

1. Place site appurtenances to the side and rear of the building or otherwise in the least visible location.
2. Screen site appurtenances, especially trash storage areas and satellite dishes, with landscaping or otherwise ensure that they are as unobtrusive as possible. Dumpsters should be screened and out of view.
3. Mount equipment such as utility meters, wires, and antennae carefully so that they do not harm features of historic buildings and are in less visible locations.
4. Locate any needed handicapped ramps on less visible elevations, if possible, and consider placing them so that they can be removed later.
5. Retain and refurbish historic light fixtures where possible.
6. New lighting fixtures should be of a simple design and should complement the style of the building.
7. Avoid using bright floodlights or rows of lights along the driveways and walks.
8. Signs should reflect the residential character of the neighborhood. They should be small-scaled and understated. For multi-family buildings, small hanging signs in the yard can be appropriate. Frequently used signs (such as rental notices for multi-unit buildings) should if possible be of a fitting character and design.





Case # HZ-22-143  
503 Battery Place

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**Applicant Presentation (10 minutes maximum)**

Case # HZ-22-143  
503 Battery Place

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**Community Comments & Comments by Other Persons**  
(5 minutes maximum per person)





**Case # HZ-22-143  
503 Battery Place**

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**Applicant Response (5 minute maximum)  
Historic Zoning Commission Discussion  
Motion and Vote**



# New Business



# Case # HZ-25-100

5500 Beulah Ave.

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Neighborhood: St. Elmo

Historic Structure: Yes, ca. 1930

Description of proposed project: Garage and Parking



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## Historic Zoning History:

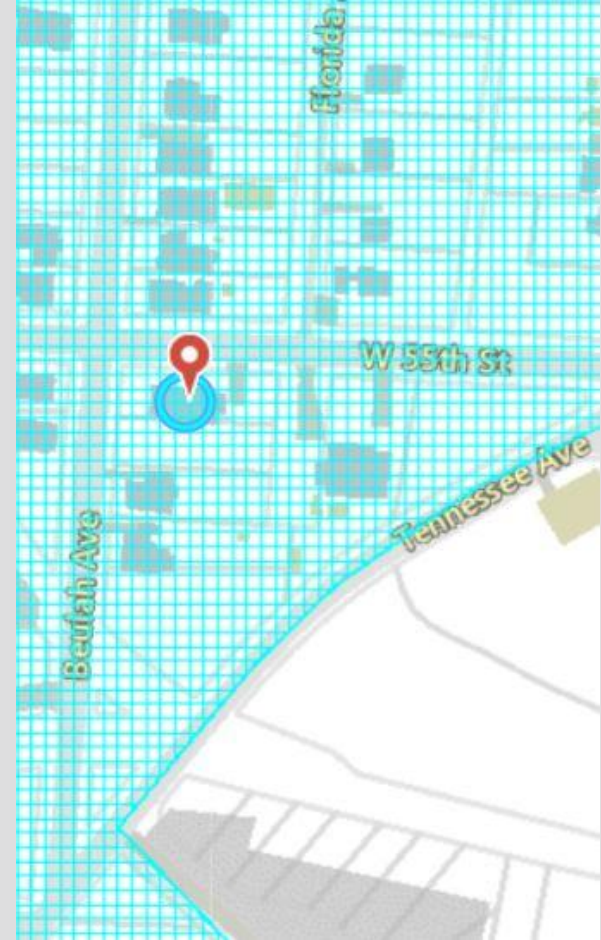
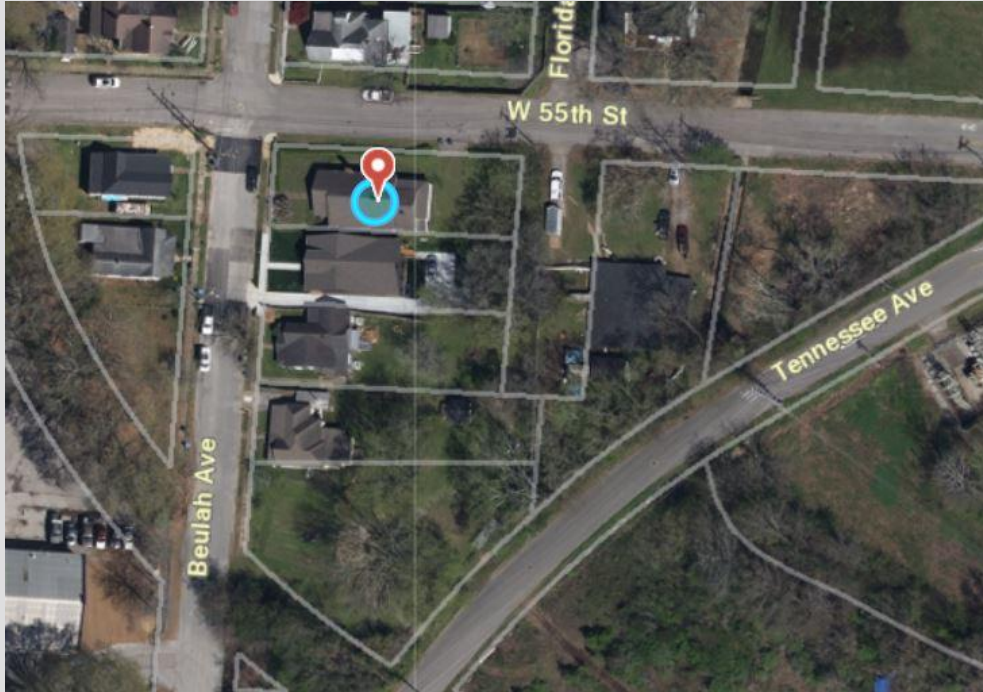
HZ-13-88: Roof, Foundation

HZ-13-108: Windows, Doors, Rear Porch

# Map Location

Case # HZ-25-100

5500 Beulah Ave.



# Property Photos

Case # HZ-25-100  
5500 Beulah Ave.





# Property Photos

Case # HZ-25-100  
5500 Beulah Ave.





# Neighboring Property Photos

Case # HZ-25-100  
5500 Beulah Ave.



# Neighboring Property Photos

Case # HZ-25-100  
5500 Beulah Ave.





# Neighboring Property Photos

Case # HZ-25-100  
5500 Beulah Ave.



**Case # HZ-25-100**  
**5500 Beulah Ave.**






# Application Information

Case # HZ-25-100

5500 Beulah Ave.

## Proposed Driveway and Garage

-  Mature tree
-  Hedges (~5' H x ~5' W)
-  Exposed roots
-  Proposed concrete drive/parking pad. Asphalt pad will be removed and replaced with concrete.
-  Proposed garage placement. Request for set back of **5 ft** from hedges and **10 ft** from property line.



# Application Information

Case # HZ-25-100  
5500 Beulah Ave.



Front view of home, facing Beulah Ave.,  
corner lot



5 ft tall mature hedge line along Beulah (front  
of home) and 55<sup>th</sup> Ave W (side of home)



Proposed location request for garage

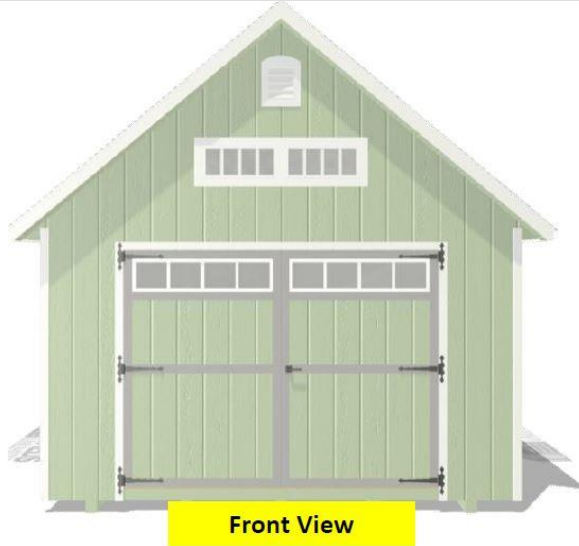


View of back of the home and backyard

# Application Information

Case # HZ-25-100

5500 Beulah Ave.



Example of garage to compliment Craftsman home design

Siding will be most likely be wood or wood composite and will be horizontal rather than the vertical position shown in these pics.

Garage will be color matched to the color of the home.





# Application Information

Case # HZ-25-100

5500 Beulah Ave.



Example of garage location and orientation

Color shown in the images is for reference purposes only.

- 5 ft tall hedge line along W 55<sup>th</sup> St will act as a sightline buffer
- Mature line of trees along the back property line will provide additional sightline buffer





# Application Information

Case # HZ-25-100

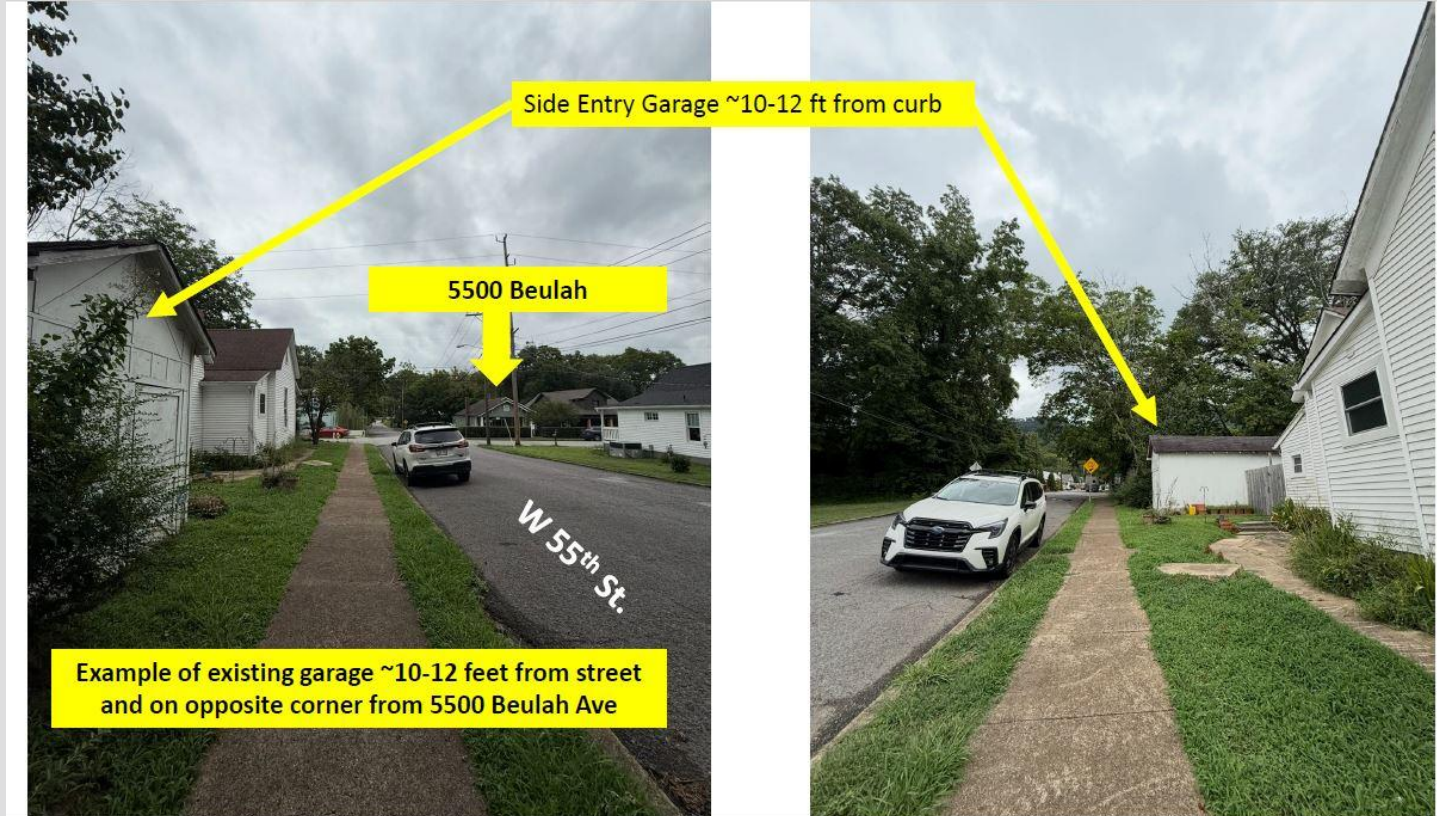
5500 Beulah Ave.



# Application Information

Case # HZ-25-100

5500 Beulah Ave.



# Material List

Case # HZ-25-100

5500 Beulah Ave.

5500 Beulah Ave, Chattanooga TN 37409

Applicant: Renato Cappuccitti (homeowner)

Garage and parking pad application

Materials list:

Garage:

- Wood siding
- 2 x 4 frame
- Plywood roof with asphalt singles
- Glass windows
- Wood doors
- Concrete floor (poured)

Parking Pad

- Poured concrete

# Relevant St. Elmo Guidelines:

Case # HZ-25-100, 5500 Beulah Ave.

6.9 Driveways + Paving, Page 41

6.22 New Construction, Page 52

## Staff Report

### 9. Driveways & Paving

Access to the buildings in St. Elmo is generally from rear alleys and new driveways for buildings should also be added at the rear of the lot. The popularity of the Craftsman/Bungalow style coincided with the rise in automobile ownership and many of these dwellings have side lot driveways and original garages. Within the district historic driveway materials such as concrete should be preserved and new driveways should be designed with traditional materials and placement.

A. And their original designs, materials, and placement should be preserved.

B. Which are new, should be located at the rear with access from the alley. **The applicant is proposing to install a concrete driveway and parking pad off W. 55th Street. There is an existing curb cut.**

C. In the front or side yards should be of gravel (white or pea gravel), concrete, or concrete tracks (narrow strips). Blacktop or asphalt driveways may be approved but this material is not traditional to the neighborhood and should be avoided.

D. Should have their parking areas located in the rear yard nearer the alley than the building and screened with hedges, shrubs, or fences where noticeable from the street. **The applicant is proposing to install a concrete driveway and parking pad off W. 55th Street. There is an existing curb cut.**

E. Of semi-circular design should not be sited in front yards.

F. Requiring new curb cuts to access driveways and parking lots should be kept to a minimum. The addition of curb cuts usually results in the removal of historic sidewalk materials, curbs, and retaining walls. Access through rear alleys is better than adding new curb cuts. **Traditional paving materials for driveways include gravel and concrete which are more appropriate materials than aggregate or asphalt. Textured concrete designed to look like brick pavers is also an appropriate material. The applicant is proposing a concrete driveway and parking pad.**




# Staff Report

Case # HZ-25-100, 5500 Beulah Ave.

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## C. Of secondary buildings such as garages, carports, and other outbuildings should be:

1. Smaller in scale than the primary building; **Yes.**
2. Simple in design but reflecting the general character of the primary building. For example, use gable roof forms if the main dwelling has a gable roof, hipped roof forms if the main dwelling has a hipped roof etc.; **The proposed outbuilding has a gable roof that mimics the gable roof on the primary dwelling.**
3. Located as traditional for the street, near an alley or at the side of the dwelling, not close to or attached to the primary building; **Yes, the outbuilding is to the rear of the dwelling.**
4. Compatible in design, shape, materials, and roof shape to the main building. **Yes.**
5. Preferably of wood siding. However, if located along rear alleys or towards the rear of the lot, secondary buildings may have exterior siding materials such as masonite (preferred), aluminum, or vinyl. Along rear alleys or rear lot lines, standard prefabricated buildings are also acceptable. **The shed will have wood siding.**
6. If readily visible from the street, secondary buildings should have an emphasis on historic designs and detailing. For garages wood paneled doors are more appropriate than paneled doors of vinyl, aluminum, or steel. Wood paneled overhead roll-up doors are widely available and are appropriate for new garages. Applicant is proposing carriage style garage doors. **The outbuilding will be visible Beulah Ave. and W. 55th St.**



Case # HZ-25-100  
5500 Beulah Ave.

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**Applicant Presentation (10 minutes maximum)**

Case # HZ-25-100  
5500 Beulah Ave.

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## Community Comments & Comments by Other Persons (3 minutes maximum per person)





Case # HZ-25-100  
5500 Beulah Ave.

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**Applicant Response (5 minute maximum)**

**Historic Zoning Commission Discussion  
Motion and Vote**



# Case # HZ-25-103

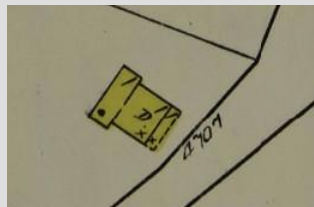
4705 Michigan Avenue

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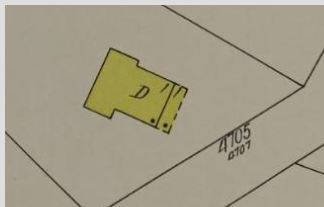
Neighborhood: St. Elmo

Historic Structure: Yes, ca. 1900-1917

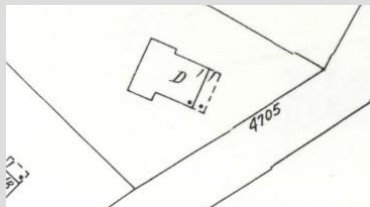
Description of proposed project: Exterior Rehabilitation + Porch/Addition



1917



1930



1955



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## Historic Zoning History:

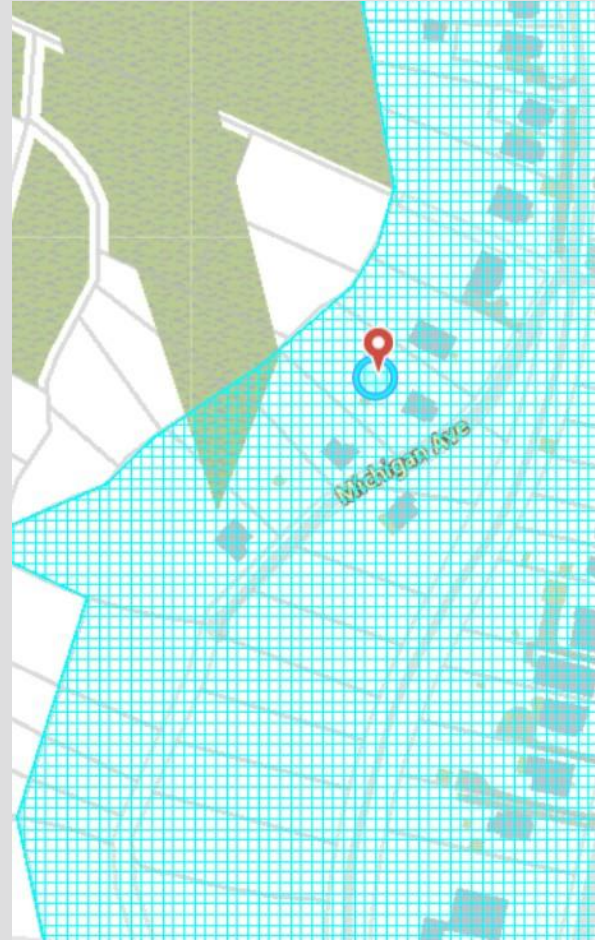
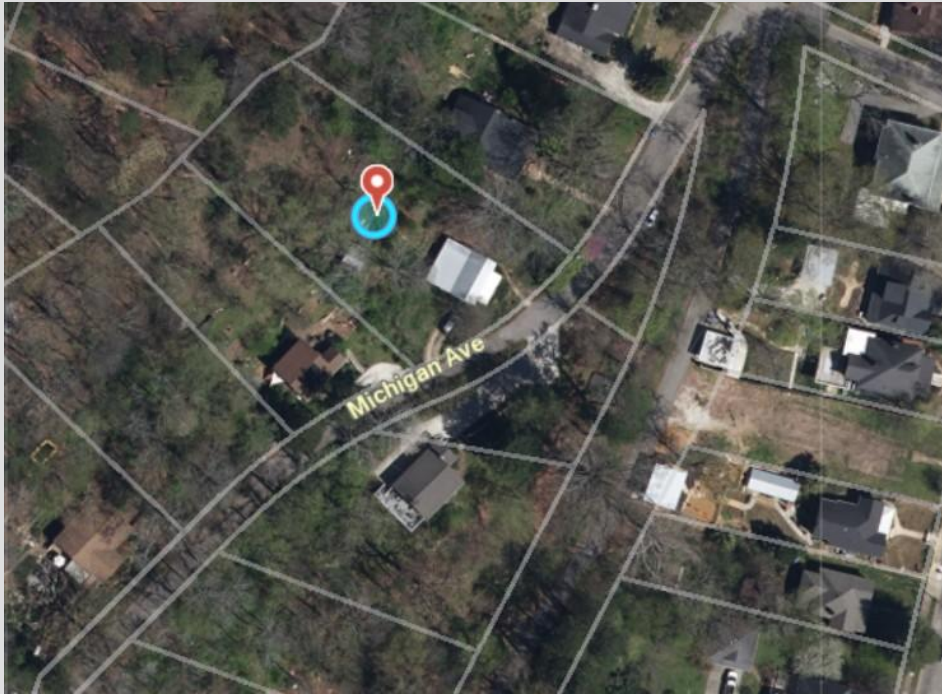
HZ-18-48: Repair/Remodel non-original rear addition, repair front porch floorboards, repair foundation.

HZ-18-182: Exterior Rehabilitation including replacing windows, siding to be wood or wood composite, batten on rear.

# Map Location

Case # HZ-25-103

4705 Michigan Ave.





# Property Photos

Case # HZ-25-103  
4705 Michigan Ave.





# Property Photos

Case # HZ-25-103  
4705 Michigan Ave.





# Property Photos

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Case # HZ-25-103  
4705 Michigan Ave.





# Property Photos

Case # HZ-25-103  
4705 Michigan Ave.





# Property Photos

Case # HZ-25-103  
4705 Michigan Ave.





# Neighboring Property Photos

Case # HZ-25-103  
4705 Michigan Ave.





# Neighboring Property Photos

Case # HZ-25-103  
4705 Michigan Ave.





# Neighboring Property Photos

Case # HZ-25-103  
4705 Michigan Ave.



# Application Information

Case # HZ-25-103  
4705 Michigan Ave.

4705 Michigan Ave  
Chattanooga, TN 37409

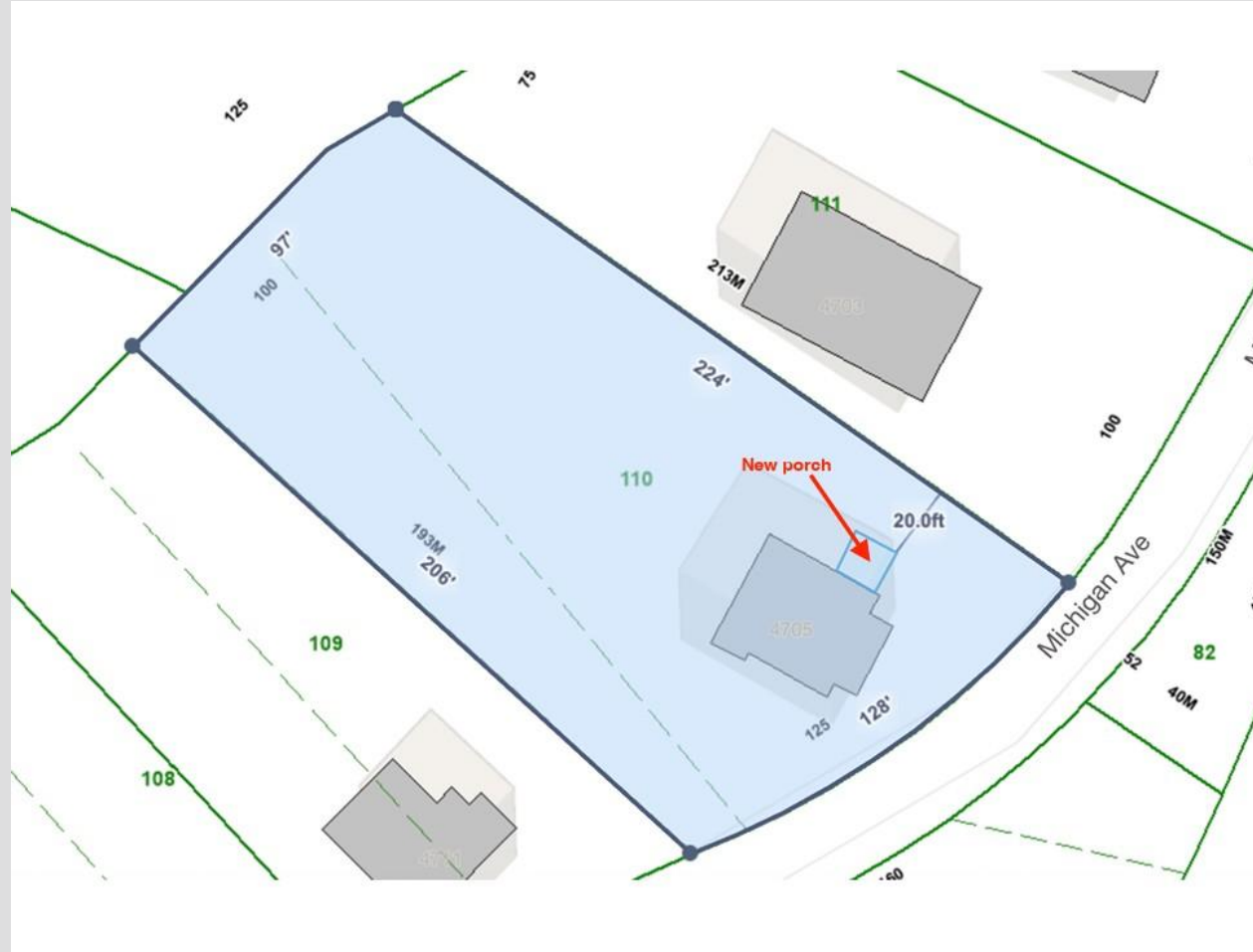




# Application Information

Case # HZ-25-103

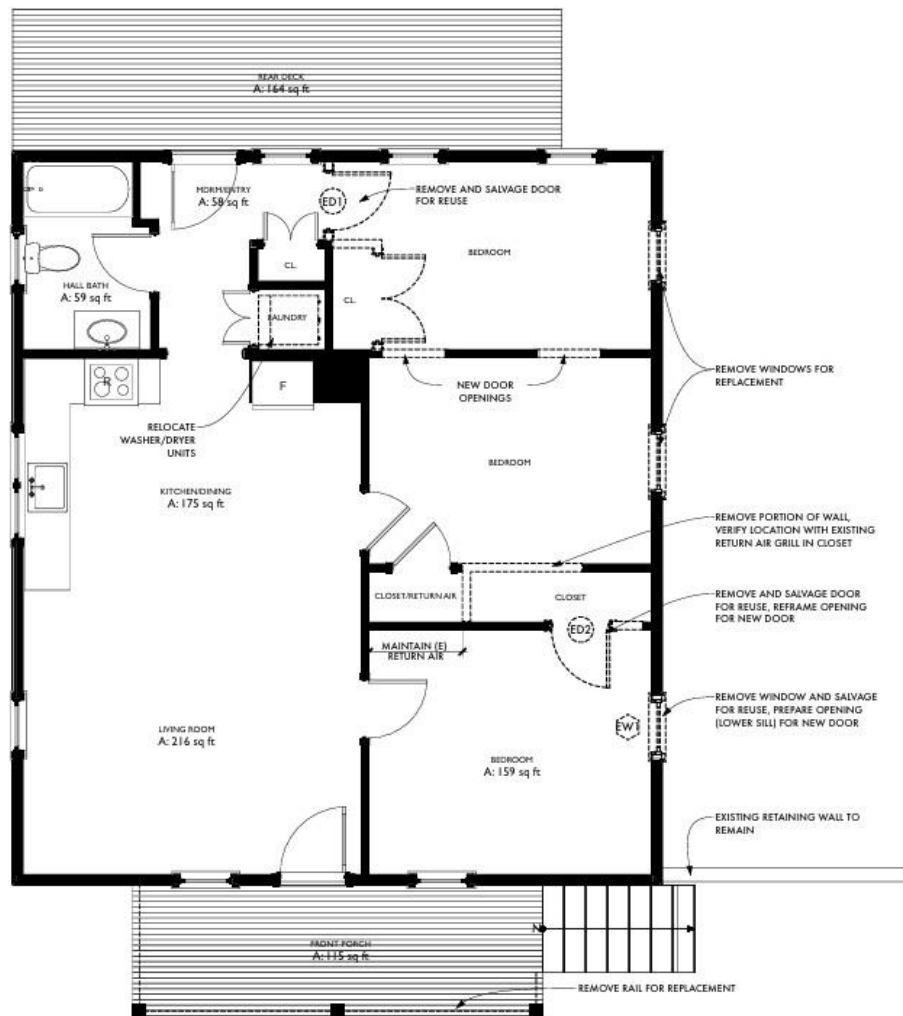
4705 Michigan Ave.



4705 Michigan Ave.

### Door Schedule

### Window Schedule



**Case # HZ-25-103**  
**4705 Michigan Ave.**

**APPLIANCE LEGEND**

 REFRIGERATOR  
 STOVE  
 DISHWASHER

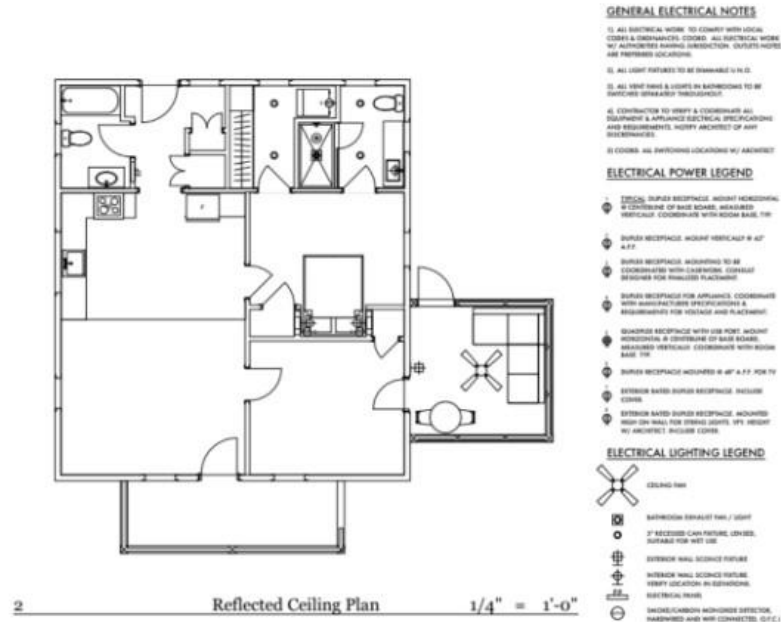
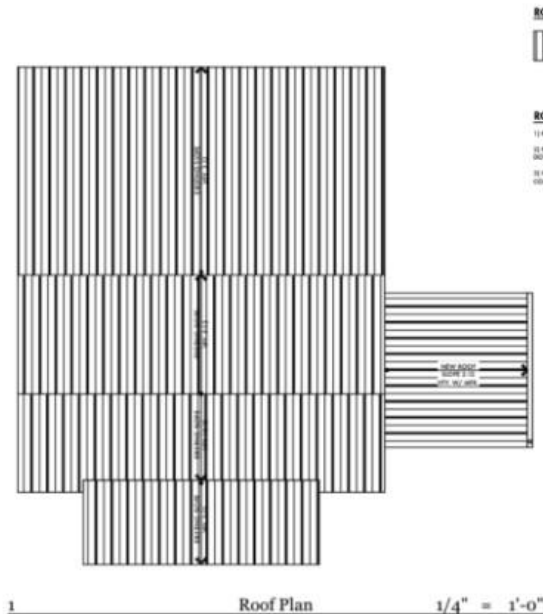
**PLUMBING LEGEND**

 SINK  
 TOILET  
 SHOWER HEAD  
 SHOWER CONTROL  
 SHOWER DRAIN

# Application Information

Case # HZ-25-103

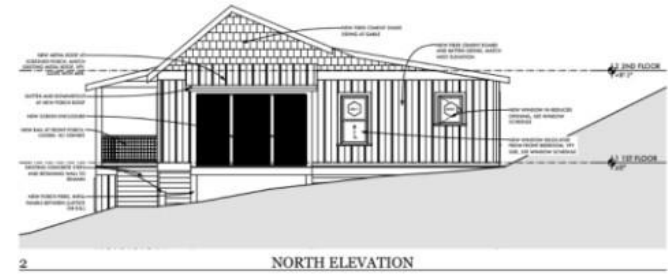
4705 Michigan Ave.





# Application Information

Case # HZ-25-103  
4705 Michigan Ave.



Build Sage Design  
ARCHITECTURE • INTERIORS



project  
**Hooks Residence**  
4705 Michigan Ave. (Interchange 7th Street)  
plans / Pricing/Construction Set  
drawn by: **MAAG**  
project no.: **2522**  
date: **8/21/25**  
contact: **Malina Breaks**  
Build Sage Design  
238 and 7181  
malina@buildsagedesign.com

ELEVATIONS

sheet **A3.0**

# Application Information

Case # HZ-25-103

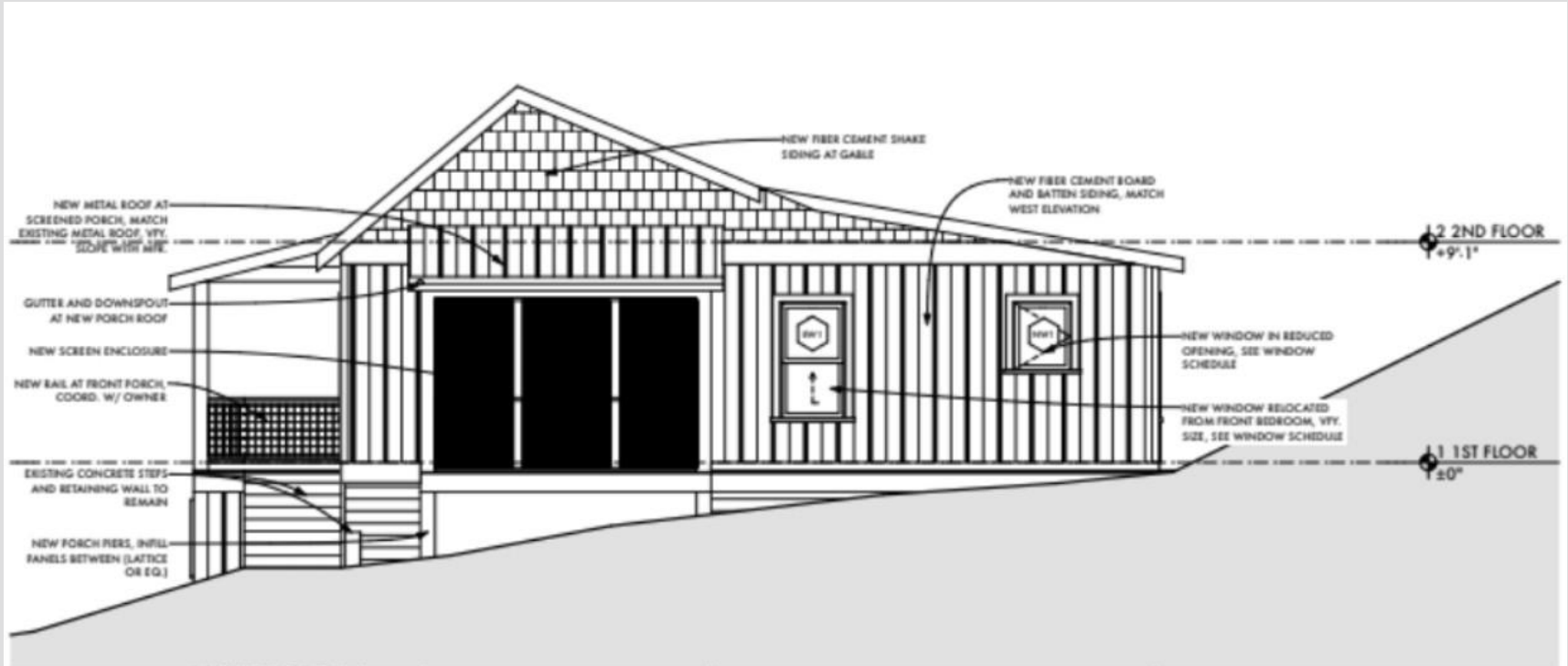
4705 Michigan Ave.



# Application Information

Case # HZ-25-103

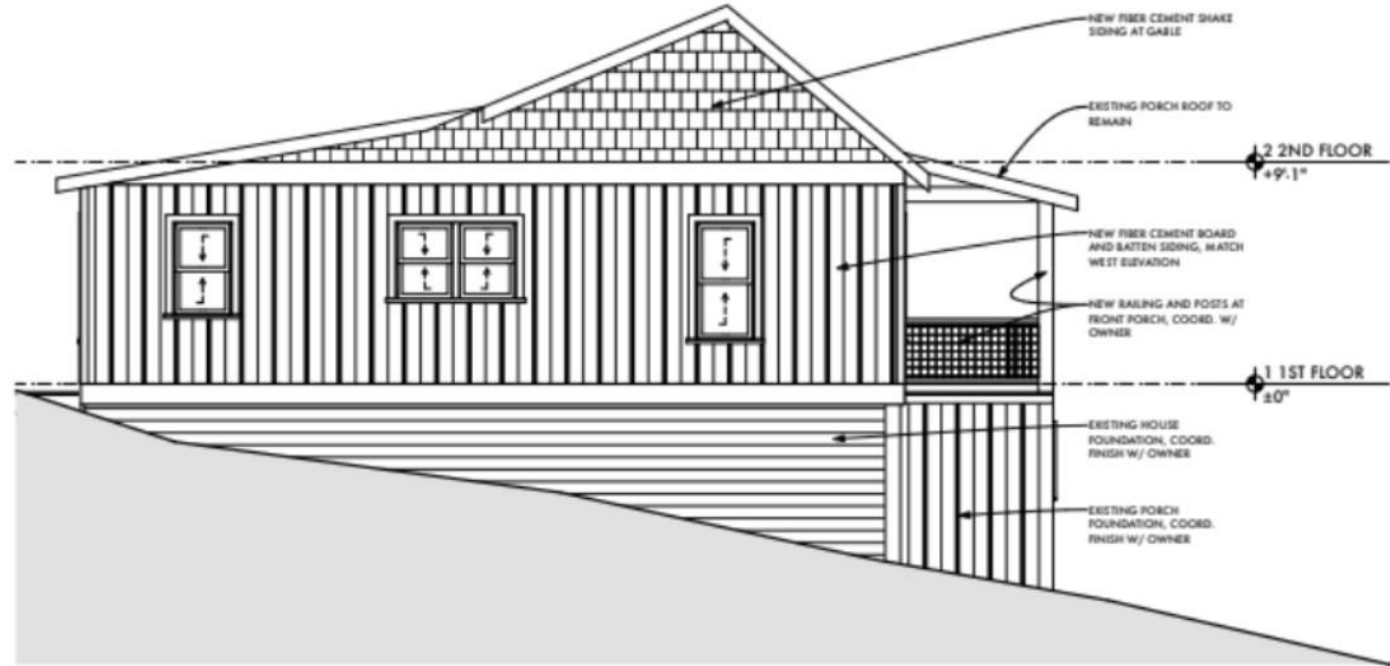
4705 Michigan Ave.



# Application Information

Case # HZ-25-103

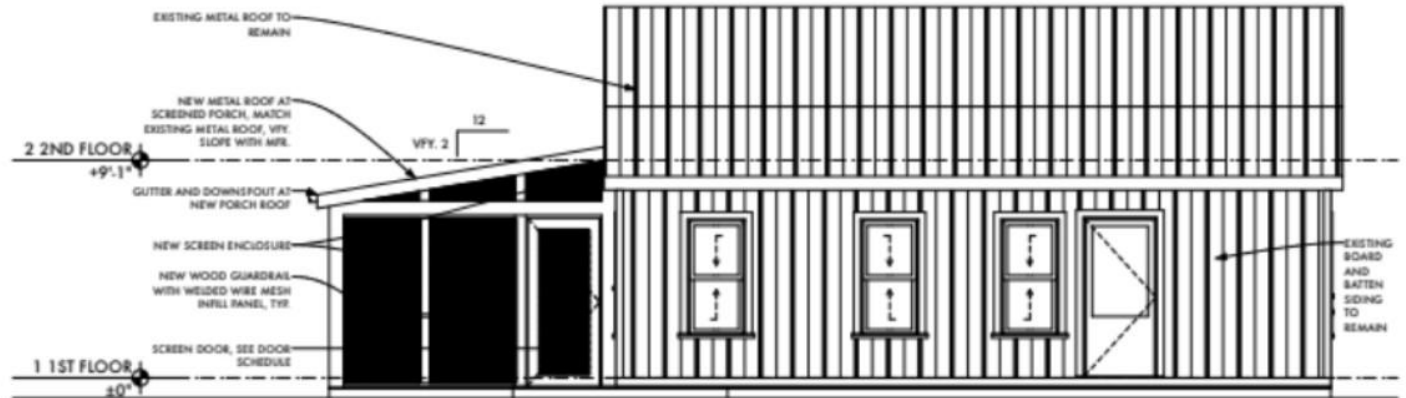
4705 Michigan Ave.





# Application Information

Case # HZ-25-103  
4705 Michigan Ave.



# Material List

Case # HZ-25-103

4705 Michigan Ave.

## Materials:

- Fiber Cement Board and Batten Siding, Fiber Cement Shake siding in gable
- Railing and Posts on front porch: cedar posts and wire railing
- Horizontal screening over foundation. Is any of the stone foundation to be covered?
- New windows on North elevation. Window schedule notes existing windows to be reused. Are all other windows to remain?
- Wood screened in porch with metal roof to match existing with same wire railing proposed at front porch

## Materials List

### See Architectural plan for materials list.

Similar to 4193 Tennessee Ave. See photo of house with Hardie shake in the gable and cedar posts for the porch.

Similar to 4603 Guild Trail. See attached photo section for example of welded wire railings.

### Additional:

New casement aluminum window in new primary bathroom.

New door for screened porch (ND2 on plans) wood with full double insulated glass.

Front Porch to be 4 - 6x6 cedar posts with welded wire insert in railings. (see plan) Similar to 4603 Guild Trail. See attached photo section.

Siding on the cinder block foundation will be pressure treated stained horizontal wood decking. Similar to 4603 Guild Trail. See attached photo section.

# Relevant St. Elmo Guidelines:

Case # HZ-25-103, 4705 Michigan Ave.

6.1 Additions, Page 33

6.13 Foundations, Page 45

6.25 Porches, Porch Columns, and Railings, Page 59

6. 33 Siding, Page 68

6.41 Windows, Page 74

## Staff Report

### 1. Additions

Buildings must be able to adapt to the needs of each generation of occupants and this may include adding additional living space. In planning Additions the best approach is to site additions where they will not be readily visible from the street, or where they will have the least effect on the building's overall form and plan. The rears of buildings are the best locations for the addition of rooms, wings, porches, or decks.

**A. Should be located at the rear of buildings, not on the front or readily visible areas of the sides of buildings. The screened porch addition is proposed at the side and front of the dwelling.**

**B. Should be secondary (smaller and simpler) than the original buildings in scale, design, and placement. The proposed screened porch addition is smaller and simpler than the original building.**

**C. Should be of a compatible design in keeping with the original building's design, roof shape, materials, color, and location of window, door, and cornice heights, etc. The applicant is proposing the same style and material roof, but the materials and design of the screened porch do not match the historic design. The applicant is proposing a gridded, wire half wall for the porch.**

D. Should not imitate an earlier historic style or architectural period. For example, a Victorian-era Queen Anne style rear porch addition would not be appropriate for a 1920s Craftsman/Bungalow house.

E. Should appear distinguishable from the historic building, not an exact copy of it. Additions should be contemporary in design but compatible with the original building.

**F. Should be built in a manner that avoids extensive removal or loss of historic materials and which does not damage or destroy the main architectural features of the building. Applicant to confirm if any historic materials would be removed or damaged with the installation of the addition.**

G. Should keep the exterior walls of the original building alone and use existing door and window openings for connecting the addition to the building. **Applicant to confirm if any historic materials would be removed or damaged with the installation of the addition.**

H. Should not be made through framing or glassing in the front porch or a prominent side porch.

**I. Additions should be made to the rear, not sides, of the house. The screened porch addition is proposed at the side and front of the dwelling.**

# Staff Report

Case # HZ-25-103, 4705 Michigan Ave.

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## 13. Foundations

Many St. Elmo dwellings have finely crafted foundations of native stone and brick is also widely used as a foundation material. Repointing and repair of masonry foundations should follow masonry guidelines.

- A. Should be preserved and maintained in their original design and with original materials and detailing. **The applicant is proposing horizontal screening over the concrete block foundation. There are portions of a stone foundation. Applicant to confirm if this will retained/covered, etc.**
- B. Between existing piers should be filled in as traditional for the type and style of the house, generally with wood lattice framed panels; with brick of color, tooling, and mortar color appropriate for the period of the house, or with decorative vertical wood boards. **Applicant notes screening between piers of the screened porch. The drawings show solid panels.**
- C. Should not be concealed with concrete block, plywood panels, corrugated metal, or wood shingles. **Applicant notes screening between piers. The drawings show solid panels.**
- D. If masonry, should be cleaned, repaired, or repointed according to masonry guidelines.
- E. Of brick may be painted or stuccoed if the brick and/or mortar is mismatched or inappropriately repaired. Dark reds, browns or other traditional brick colors are appropriate paint colors for foundations.



# Staff Report

Case # HZ-25-103, 4705 Michigan Ave.

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## 25. Porches, Porch Columns and Railings

Porches are one of the most important defining characteristics of a pre-1945 building. Original porches should be repaired and maintained. Those on the fronts of buildings should not be enclosed with wood or glass panels. The screening of porches on the fronts of buildings is appropriate. If replacement of porch elements is required, use materials to closely match those which exist. If the original porch is missing, construct a new porch based upon photographic or physical evidence, or base the design upon historic porches of district buildings built at the same period and in similar architectural style. In some cases turn of the century dwellings had their original porches removed and replaced with Craftsman/Bungalow style porches in the 1920s and 1930s. If desired, these Craftsman/Bungalow porches may be replaced with porches in keeping with the original design.

- A. On front and side facades should be maintained in their original configuration and with original materials and detailing.
- B. Should not be removed if original. **The existing front porch columns may be a later addition or covered in modern material. The applicant is proposing to remove posts and balustrade and replace with wire railing and cedar posts. This is not compatible with the period of the dwelling.**
- C. And their details should be retained intact with repair work and replacement of missing parts, such as columns, posts, railings, balusters, decorative molding and trim work, to match the original in design, materials, scale, and placement. **The existing front porch columns may be a later addition or covered in modern material. The applicant is proposing to remove posts and balustrade and replace with wire railing and cedar posts.**
- D. On the fronts of dwellings should not be enclosed.
- E. On the rear and sides of dwellings may be enclosed when not readily visible from the street and if the height and shape of the porch roof is maintained.
- F. Should have wood steps, not brick or concrete, for buildings with wood porch floors. Although not as appropriate, brick or pre-cast concrete steps may be added to front porches.
- G. May be screened if the structural framework for the screen panels is minimal and the open appearance of the porch is maintained. Wood Framing for the screen panels is preferred; however, anodized or baked enamel aluminum frames are also acceptable. The use of “raw” or silver aluminum framing is not appropriate.
- J. Should have wood tongue and groove flooring running perpendicular to the façade (unless the original floor is concrete).
- K. Should not have brick floors or steps.

# Staff Report

Case # HZ-25-103, 4705 Michigan Ave.

## 25. Porches, Porch Columns and Railings Cont...

Historic porch columns and railings should be retained and repaired with materials to match the original. If the original porch columns and railings are missing, replacement porch columns and railings should be appropriate for the dwelling's architectural style and period. **The existing front porch columns may be a later addition or covered in modern material. The applicant is proposing to remove posts and balustrade and replace with wire railing and cedar posts. This is not compatible with the period of the dwelling.**

A. Should be preserved and maintained. If repair is required, use materials to match the original in dimensions and detailing.

B. Often deteriorate first at the bottom next to the porch floor. If this is the case, consider sawing off the deteriorated area and replacing this section rather than replacing the entire column.

C. Of aluminum, wrought iron, or other modern materials are not appropriate for front porches. These types of columns are not preferred but are acceptable for porches at the rear of a dwelling or for side porches which are not readily visible from the street. **The existing front porch columns may be a later addition or covered in modern material. The applicant is proposing to remove posts and balustrade and replace with wire railing and cedar posts. This is not compatible with the period of the dwelling.**

D. On front porches should be rebuilt in historic designs if the original columns and railings are missing. For Queen Anne and Folk Victorian styles of the turn of the century, milled porch columns are appropriate and are readily available from wholesale companies. These porch columns are generally 8' in height and have widths and depths of 4". For Craftsman/Bungalow porches round, square, or tapered square wood columns are best. Although generally not available at wholesale hardware stores, they can be ordered from milling companies. These columns should fit the porch height and if round, have diameters of no less than 6" and no more than 10". Square columns or tapered square columns should be a minimum of 8" and a maximum of 10" in depth and width. **The existing front porch columns may be a later addition or covered in modern material. The applicant is proposing to remove posts and balustrade and replace with wire railing and cedar posts. This is not compatible with the period of the dwelling.**

E. On front porches may require new newel posts. Porch newel posts in historic designs are readily available and are generally 4' high and measure 4" in width and depth. The "ball top" newel post is best for Queen Anne or Folk Victorian porches. The "V-Groove" post is acceptable for Queen Anne, Folk Victorian, and Craftsman/Bungalow dwellings. Avoid the "French Gothic" post which is not as appropriate for the houses in St. Elmo.

F. On front porches may require new balusters for the railing. Porch balusters (also called spindles) are readily available in historic designs from wholesale hardware stores. The milled spindles measuring 3' high and 2" in diameter are best for Queen Anne and Folk Victorian Dwellings. Square balusters which are 3' high and 2" in width and depth are best for Craftsman/Bungalow dwellings. The "jumbo" balusters or spindles which measure 3"x3" or 4"x4" are too large and should not be added to front porches or porches readily visible from the street.

# Staff Report

Case # HZ-25-103, 4705 Michigan Ave.

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## 6.33 Siding

Exterior wood siding and shingles are essential components defining a building's architectural character. The concealment of original wood siding with vinyl, aluminum, or other synthetic sidings is not appropriate. These siding materials do not successfully imitate the original wood siding dimensions or texture. There are also potential structural problems inherent in the use of these materials on historic buildings.

Siding guidelines for St. Elmo are as follows:

- A. Wood siding original to the building should be repaired rather than replaced only where necessary due to deterioration. **Applicant is proposing to remove the existing vinyl siding and replace it with fiber cement shingle and board and batten siding. Applicant to confirm if original wood siding is present underneath existing vinyl siding.**
- B. Wall shingles original to the building should be preserved but if replacement is necessary the new shingles should match the original in size, placement, and design (this includes decorative wood shingles of Victorian buildings as well as wood or asphalt shingles of bungalow period houses).
- C. The application of masonite over original wood siding is also not appropriate and is discouraged. Repair of original wood siding should be with wood siding to match the original. However, masonite may be used if the dimensions, texture, and color matches the original wood siding. **Applicant is proposing to remove the existing vinyl siding and replace it with fiber cement shingle and board and batten siding. Applicant to confirm if original wood siding is present underneath existing vinyl siding.**
- D. The removal of synthetic sidings such as aluminum, asbestos, and vinyl and the restoration of the original wood siding is highly encouraged.
- E. The application of synthetic or substitute materials such as vinyl or aluminum over original wood siding is not appropriate and their use is discouraged but not prohibited. To be approved, the application of these materials must not result in the concealment of or removal of original decorative detailing or trim. This includes the concealment of window and door surrounds. Synthetic siding materials should match the dimensions of the original wood siding as closely as possible. Care should be taken to have the synthetic sidings vented to the maximum extent possible.

NOTE: The application of synthetic sidings is in violation of federal standards and such projects would not qualify for any federal tax credits.

- F. Consideration for determining the appropriateness of a change in siding will be based on the following criteria: what is the age of the building and is it contributing or significant to the district; where is the building located within the district, and; are the proposed changes visible from the street or on a primary façade? The dwelling is c. 1917 per the Sanborn Maps. The property is not listed on the National Register Nomination. The changes will be visible from Michigan Avenue.
- G. Siding of particle board or pressboard is also not appropriate for the fronts of dwellings or sides which are readily visible from the street. Almost all frame dwellings in St. Elmo have horizontal siding forms. Vertical siding such as "T1-11" is not appropriate. **Applicant is proposing to remove the existing vinyl siding and replace it with fiber cement shingle and board and batten siding. Applicant to confirm if original wood siding is present underneath existing vinyl siding.**
- H. Asbestos shingles which are original to a dwelling should be kept stained or painted. If asbestos shingle siding is deteriorated or poses a health hazard, it may be enclosed or covered with other synthetic sidings such as vinyl or masonite.

# Staff Report

Case # HZ-25-103, 4705 Michigan Ave.

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## 6.41 Windows

St. Elmo boasts a wide variety of historic wood windows in various sash designs and sizes. Windows should be maintained or repaired to match the original design. If windows are deteriorated beyond repair, the installation of new wood windows to match the original designs is best. Vinyl clad windows or windows of anodized aluminum are also acceptable but these are more appropriate at the rear or sides of dwellings which are not readily visible from the street. If only one or two windows on the front of the house are deteriorated, consider removing good condition windows from the rear or sides of the house to add in their place.

Original window openings should not be covered or concealed. They should also not be enclosed for the addition of smaller windows. New windows should not be added on the fronts of dwellings but may be added at the rear or sides if not readily visible from the street. The addition of window screens to historic windows is fine as long as the screens are full-view design or have a central meeting rail to match the historic window.

- A. Should be preserved in their original location, size, and design and with their original materials and number of panes. **Applicant notes that two windows will be reused in new locations. Applicant to confirm if any other windows are to be removed. Staff has not conducted a site visit to confirm the condition of the windows.**
- B. Should not be added to primary facades or to secondary facades where readily visible. **Windows to be moved and reused are on the side.**
- C. Should be repaired rather than replaced, but if replacement is necessary due to severe deterioration, the replacement should be in-kind to match the originals in material and design. **Applicant notes that two windows will be reused in new locations. Applicant to confirm if any other windows are to be removed. Staff has not conducted a site visit to confirm the condition of the windows.**
- D. Of steel or other metal designs should be preserved and maintained, or replaced with new metal windows which are similar in appearance and materials.
- E. Should not have snap-on or flush muntins. These muntins are much thinner than the muntins on historic windows and don't look real.
- F. Screens and/or storms should be wood or baked-on or anodized aluminum and fit within the window frames, not overlap the frames.
- G. Should not have shutters unless they are of louvered wood construction and are designed to fit the window opening (so that if closed, they would cover the window opening).
- H. Should not have security bars where visible from the street.

**\*Note: Are any existing exterior doors historic? Will they be retained if so? If not, applicant to provide proposed door replacements.**





Case # HZ-25-103  
4705 Michigan Ave.

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**Applicant Presentation (10 minutes maximum)**

Case # HZ-25-103  
4705 Michigan Ave.

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**Community Comments & Comments by Other Persons**  
(3 minutes maximum per person)





Case # HZ-25-103  
4705 Michigan Ave.

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**Applicant Response (5 minute maximum)**

**Historic Zoning Commission Discussion  
Motion and Vote**

# Case # HZ-25-113

4401 St. Elmo Avenue

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Neighborhood: St. Elmo

Historic Structure: Yes, ca. 1900 (Primary Dwelling)

Description of proposed project: Correction Notice, Outbuilding Conversion



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## Historic Zoning History:

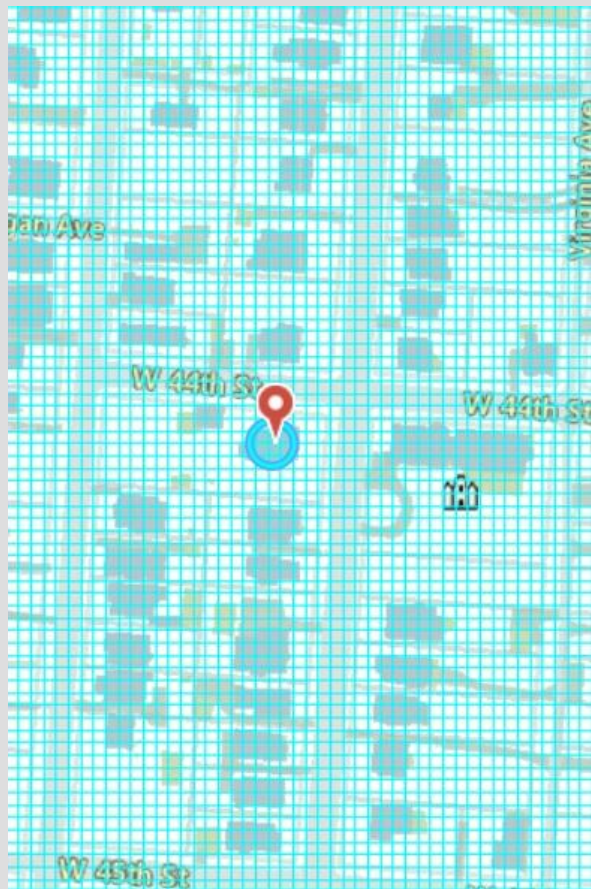
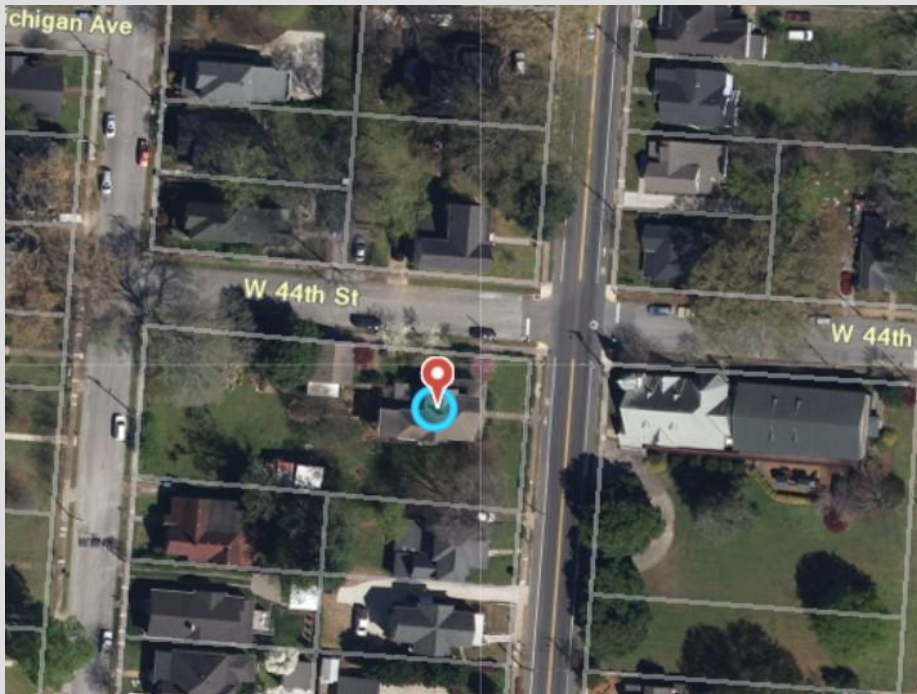
18-HZ-00010: Exterior Rehabilitation of Carriage House



# Map Location

Case # HZ-25-113

4401 St. Elmo Ave.



# Property Photos

Case # HZ-25-113  
4401 St. Elmo Ave.





# Property Photos

Case # HZ-25-113

4401 St. Elmo Ave.





# Property Photos

Case # HZ-25-113  
4401 St. Elmo Ave.





# Neighboring Property Photos

Case # HZ-25-113

4401 St. Elmo Ave.



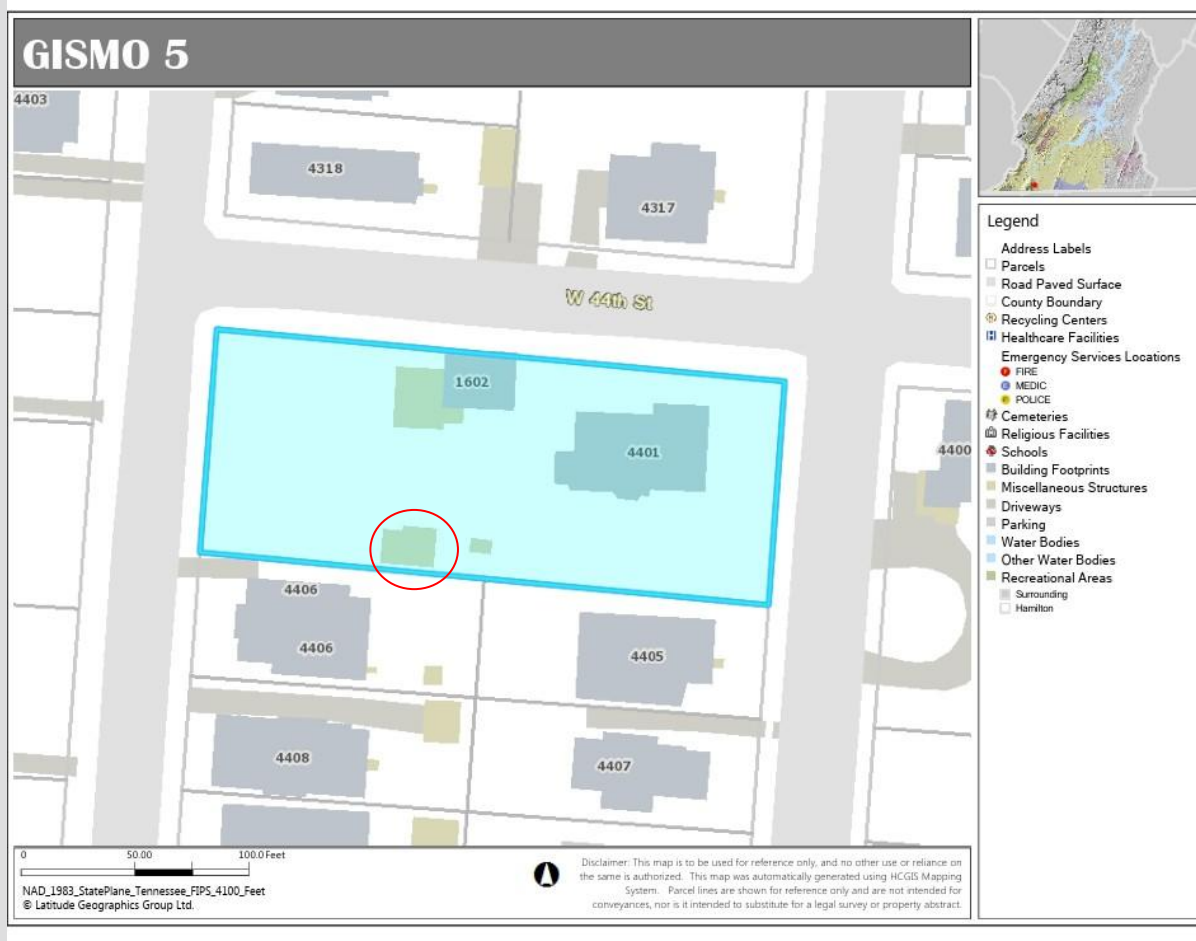
# Neighboring Property Photos

Case # HZ-25-113  
4401 St. Elmo Ave.



# Application Information

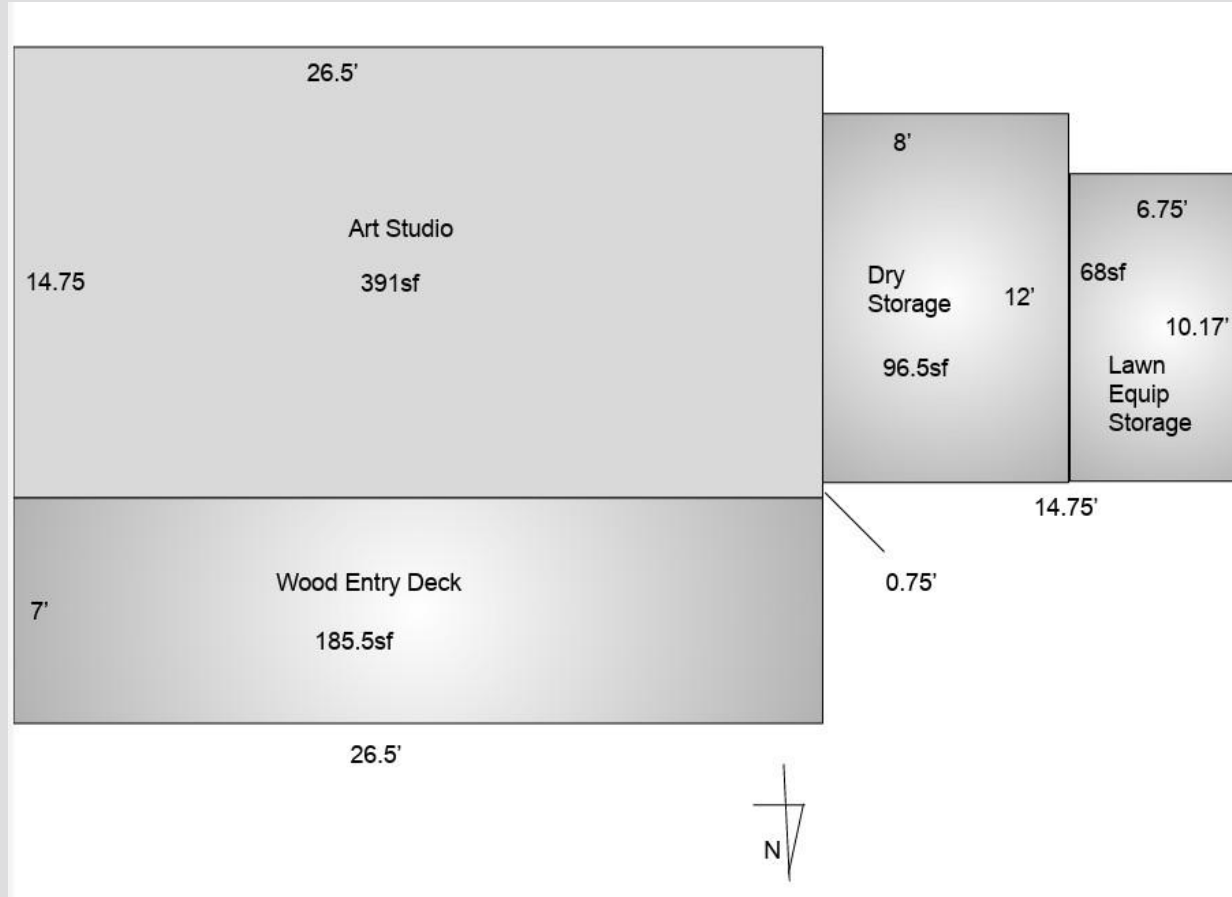
Case # HZ-25-113  
4401 St. Elmo Ave.



# Application Information

Case # HZ-25-113

4401 St. Elmo Ave.





# Application Information

Case # HZ-25-113

4401 St. Elmo Ave.



# Material List

Case # HZ-25-113

4401 St. Elmo Ave.

## Materials List for Art Studio Ancillary to 4401 St Elmo Avenue

- Roof – Metal Roofing
- Siding – Fiber Cement Siding
- Windows – Metal Frame Single Pane
- Doors – Metal Exterior French Door
- Entry Deck – Pressure Treated Deck Boards

# Relevant St. Elmo Guidelines:


Case # HZ-25-113, 4401 St. Elmo Ave.

6.22 New Construction, Page 52

## Staff Report

### C. Of secondary buildings such as garages, carports, and other outbuildings should be:

1. Smaller in scale than the primary building; **Yes.**
2. Simple in design but reflecting the general character of the primary building. For example, use gable roof forms if the main dwelling has a gable roof, hipped roof forms if the main dwelling has a hipped roof etc.; **The existing outbuilding has lean-to roof forms.**
3. Located as traditional for the street, near an alley or at the side of the dwelling, not close to or attached to the primary building; **Yes, the outbuilding is to the rear of the dwelling.**
4. Compatible in design, shape, materials, and roof shape to the main building. **The outbuilding has lean-to roof forms and multiple windows on the front facade.**
5. Preferably of wood siding. However, if located along rear alleys or towards the rear of the lot, secondary buildings may have exterior siding materials such as masonite (preferred), aluminum, or vinyl. Along rear alleys or rear lot lines, standard prefabricated buildings are also acceptable. **The outbuilding has fiber cement siding.**
6. If readily visible from the street, secondary buildings should have an emphasis on historic designs and detailing. For garages wood paneled doors are more appropriate than paneled doors of vinyl, aluminum, or steel. Wood paneled overhead roll-up doors are widely available and are appropriate for new garages. Applicant is proposing carriage style garage doors. **The outbuilding is visible from Alabama Ave. and W. 44th St.**



Case # HZ-25-113  
4401 St. Elmo Ave.

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**Applicant Presentation (10 minutes maximum)**




Case # HZ-25-113  
4401 St. Elmo Ave.

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**Community Comments & Comments by Other Persons**  
(3 minutes maximum per person)





Case # HZ-25-113  
4401 St. Elmo Ave.

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**Applicant Response (5 minute maximum)**

**Historic Zoning Commission Discussion  
Motion and Vote**

# Case # HZ-25-115

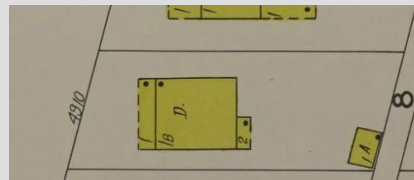
## 4910 St. Elmo Avenue

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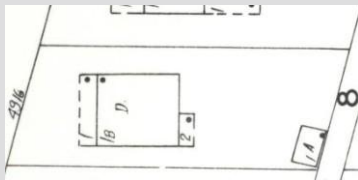
Neighborhood: St. Elmo

Historic Structure: Yes, ca. 1920

Description of proposed project: Stop Work Order, Front Porch

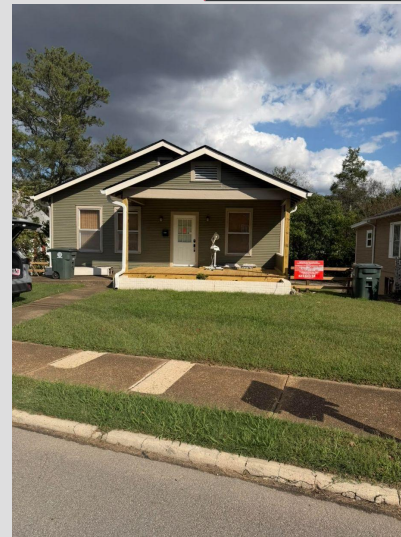


1930



1955

(301) 4910 St. Elmo Ave. (1924): Rectangular, one story, frame, gable roof, gabled porch.



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## Historic Zoning History:

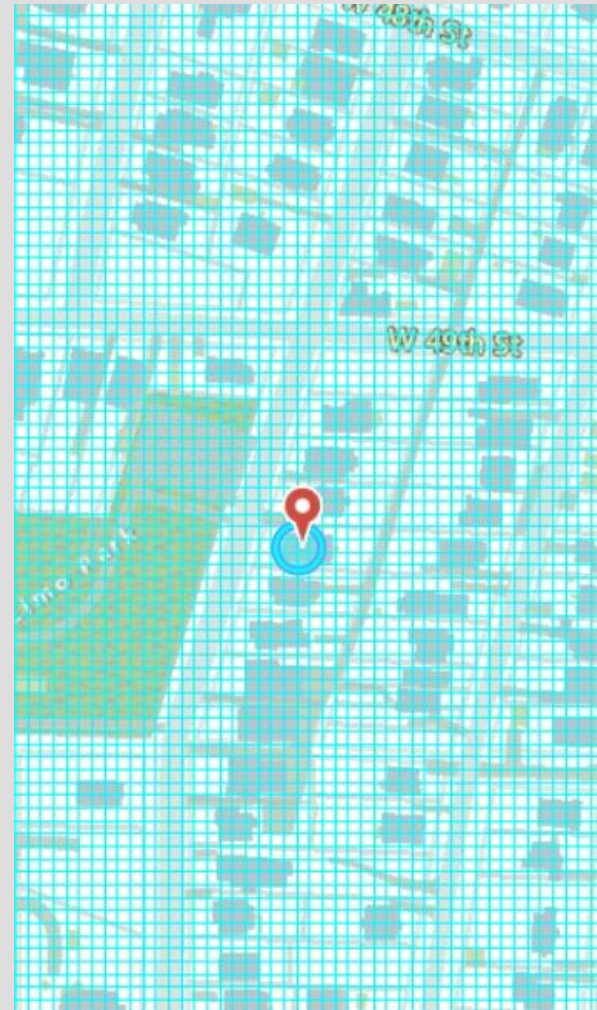
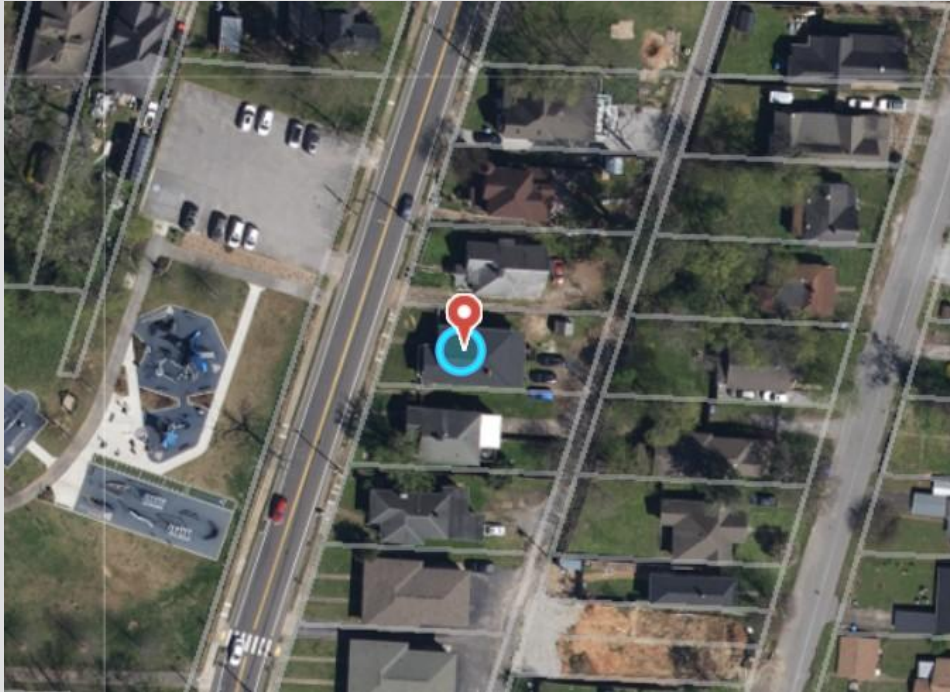
None

The front porch was altered between April 2021 and November 2021. We do not have records of a COA or Code Enforcement from that time.

# Map Location

Case # HZ-25-115

4910 St. Elmo Ave.





# Property Photos

Case # HZ-25-115  
4910 St. Elmo Ave.



# Property Photos

Case # HZ-25-115  
4910 St. Elmo Ave.





# Neighboring Property Photos

Case # HZ-25-115  
4910 St. Elmo Ave.



# Neighboring Property Photos

Case # HZ-25-115  
4910 St. Elmo Ave.

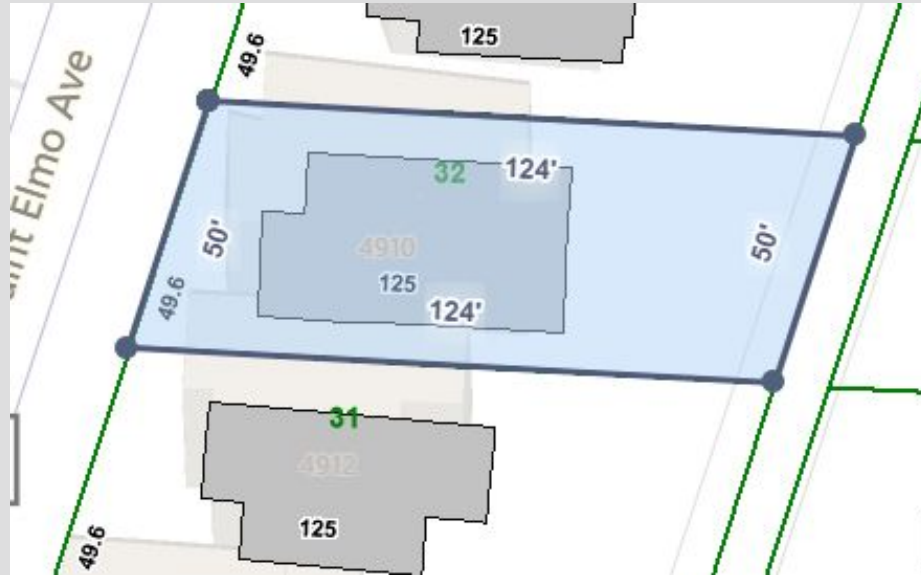




# Application Information

Case # HZ-25-115

4910 St. Elmo Ave.



(2) New posts highlighted in red- both replaced with 6x6x10. We plan to wrap the post to fit the same exact style as before with 1x8x10 with a trim piece at the top, see photo below of the previous columns. Replaced the exterior boards below the deck by the flower bed and step. Added a waterproofing membrane under the deck boards.

New porch, completely replaced highlighted in blue. 1x6x 8 pressure treated deck boards Stain with Jacobean. Used 3" decking screws

1 step built the length of the deck with deck boards. Stain Jacobean

(2) New white picket fences 4ft tall. Length is unknown but we want to run the left side property line to the house and the right side of house to stairs.



Waterproofing membrane in blue

# Application Information

Case # HZ-25-115

4910 St. Elmo Ave.





# Application Information

Case # HZ-25-115

4910 St. Elmo Ave.



# Application Information

Case # HZ-25-115  
4910 St. Elmo Ave.





# Material List

Case # HZ-25-115

4910 St. Elmo Ave.

4910 SAINT ELMO AVE.

CHATTANOOGA, TN 37409

## MATERIALS LIST- FRONT PORCH FLOORING/ POSTS

Front porch flooring was damaged/rotted and was not feasible to repair. While replacing it we learned the front porch posts were rotted and completely hollow, not providing any support to the front porch.

The front porch was replaced with:

Fence:

4 white picket fence panels.

2 bags of concrete

1 box of galvanized screws

### **POSTS:**

(2) 6" x 6" x 10' Ground contact PT lumber

1 gallon of white exterior trim paint

### **PORCH:**

(47) 5/4" x 6" x 8' Ground contact PT Prem. decking board treated deck wood

(8) 2" x 8" x 8' Ground contact PT Prem. Lumber

(4) 2" x 10" x 16' Ground contact PT Prem. Lumber

(1 box) 3" 5lbs Nails

(2 Rolls) waterproof membrane

1 gallon of Jacobean waterproofing stain

# Relevant St. Elmo Guidelines:

Case # HZ-25-115, 4910 St. Elmo Ave.

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6.25 Porches, Porch Columns, and Railings, Page 59

## Staff Report

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### 25. Porches, Porch Columns and Railings

Porches are one of the most important defining characteristics of a pre-1945 building. Original porches should be repaired and maintained. Those on the fronts of buildings should not be enclosed with wood or glass panels. The screening of porches on the fronts of buildings is appropriate. If replacement of porch elements is required, use materials to closely match those which exist. If the original porch is missing, construct a new porch based upon photographic or physical evidence, or base the design upon historic porches of district buildings built at the same period and in similar architectural style. In some cases turn of the century dwellings had their original porches removed and replaced with Craftsman/Bungalow style porches in the 1920s and 1930s. If desired, these Craftsman/Bungalow porches may be replaced with porches in keeping with the original design.

- A. On front and side facades should be maintained in their original configuration and with original materials and detailing.
- B. Should not be removed if original. **The applicant removed existing porches and reinstalled new columns and flooring. There were changes made to the front porch in 2021 as well including removing a knee wall and screening.**
- C. And their details should be retained intact with repair work and replacement of missing parts, such as columns, posts, railings, balusters, decorative molding and trim work, to match the original in design, materials, scale, and placement. **The applicant removed existing porches and reinstalled new columns and flooring. There were changes made to the front porch in 2021 as well including removing a knee wall and screening. The applicant is proposing to wrap the columns in the same trim that was removed.**
- D. On the fronts of dwellings should not be enclosed.
- E. On the rear and sides of dwellings may be enclosed when not readily visible from the street and if the height and shape of the porch roof is maintained.
- F. Should have wood steps, not brick or concrete, for buildings with wood porch floors. Although not as appropriate, brick or pre-cast concrete steps may be added to front porches.
- G. May be screened if the structural framework for the screen panels is minimal and the open appearance of the porch is maintained. Wood Framing for the screen panels is preferred; however, anodized or baked enamel aluminum frames are also acceptable. The use of “raw” or silver aluminum framing is not appropriate.
- J. Should have wood tongue and groove flooring running perpendicular to the façade (unless the original floor is concrete). **The applicant replaced the flooring. The flooring is running perpendicular to the facade, but it is not tongue and groove.**
- K. Should not have brick floors or steps.

# Staff Report

Case # HZ-25-115, 4910 St. Elmo Ave.

## 25. Porches, Porch Columns and Railings Cont...

Historic porch columns and railings should be retained and repaired with materials to match the original. If the original porch columns and railings are missing, replacement porch columns and railings should be appropriate for the dwelling's architectural style and period.

A. Should be preserved and maintained. If repair is required, use materials to match the original in dimensions and detailing. **The applicant removed existing porches and reinstalled new columns and flooring. There were changes made to the front porch in 2021 as well including removing a knee wall and screening. The applicant is proposing to wrap the columns in the same trim that was removed.**


B. Often deteriorate first at the bottom next to the porch floor. If this is the case, consider sawing off the deteriorated area and replacing this section rather than replacing the entire column.

C. Of aluminum, wrought iron, or other modern materials are not appropriate for front porches. These types of columns are not preferred but are acceptable for porches at the rear of a dwelling or for side porches which are not readily visible from the street.

D. On front porches should be rebuilt in historic designs if the original columns and railings are missing. For Queen Anne and Folk Victorian styles of the turn of the century, milled porch columns are appropriate and are readily available from wholesale companies. These porch columns are generally 8' in height and have widths and depths of 4". For Craftsman/Bungalow porches round, square, or tapered square wood columns are best. Although generally not available at wholesale hardware stores, they can be ordered from milling companies. These columns should fit the porch height and if round, have diameters of no less than 6" and no more than 10". Square columns or tapered square columns should be a minimum of 8" and a maximum of 10" in depth and width. **The applicant removed existing porches and reinstalled new columns and flooring. There were changes made to the front porch in 2021 as well including removing a knee wall and screening. The applicant is proposing to wrap the columns in the same trim that was removed.**

E. On front porches may require new newel posts. Porch newel posts in historic designs are readily available and are generally 4' high and measure 4" in width and depth. The "ball top" newel post is best for Queen Anne or Folk Victorian porches. The "V-Groove" post is acceptable for Queen Anne, Folk Victorian, and Craftsman/Bungalow dwellings. Avoid the "French Gothic" post which is not as appropriate for the houses in St. Elmo.

F. On front porches may require new balusters for the railing. Porch balusters (also called spindles) are readily available in historic designs from wholesale hardware stores. The milled spindles measuring 3' high and 2" in diameter are best for Queen Anne and Folk Victorian Dwellings. Square balusters which are 3' high and 2" in width and depth are best for Craftsman/Bungalow dwellings. The "jumbo" balusters or spindles which measure 3"x3" or 4"x4" are too large and should not be added to front porches or porches readily visible from the street.



Case # HZ-25-115  
4910 St. Elmo Ave.

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**Applicant Presentation (10 minutes maximum)**




Case # HZ-25-115  
4910 St. Elmo Ave.

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**Community Comments & Comments by Other Persons**  
(3 minutes maximum per person)





Case # HZ-25-115  
4910 St. Elmo Ave.

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**Applicant Response (5 minute maximum)**

**Historic Zoning Commission Discussion  
Motion and Vote**

# Case # HZ-25-117

## 5415 Beulah Avenue

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Neighborhood: St. Elmo

Historic Structure: No, ca. 1972

Description of proposed project: Shed



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## Historic Zoning History:

HZ-25-116: Privacy Fence

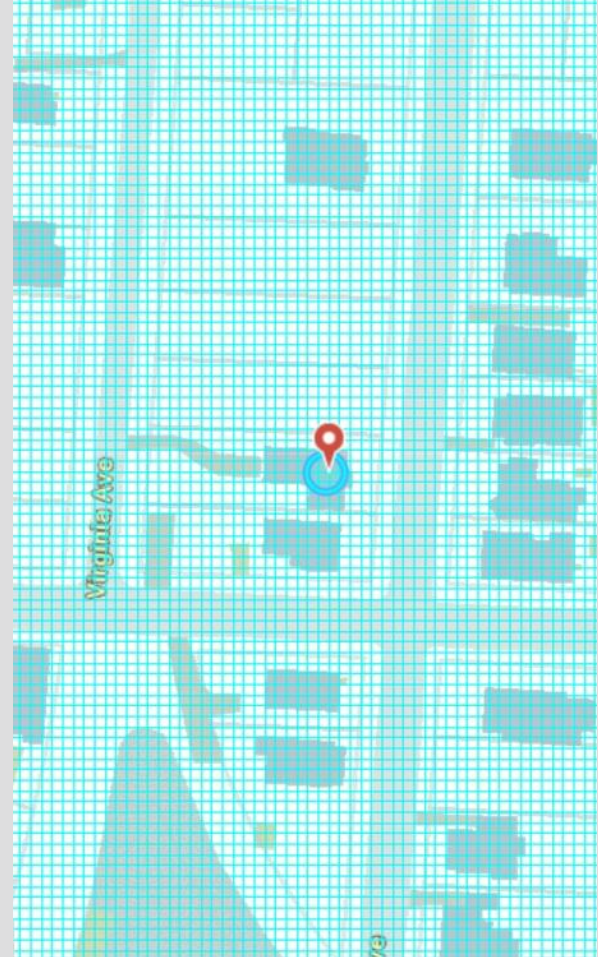
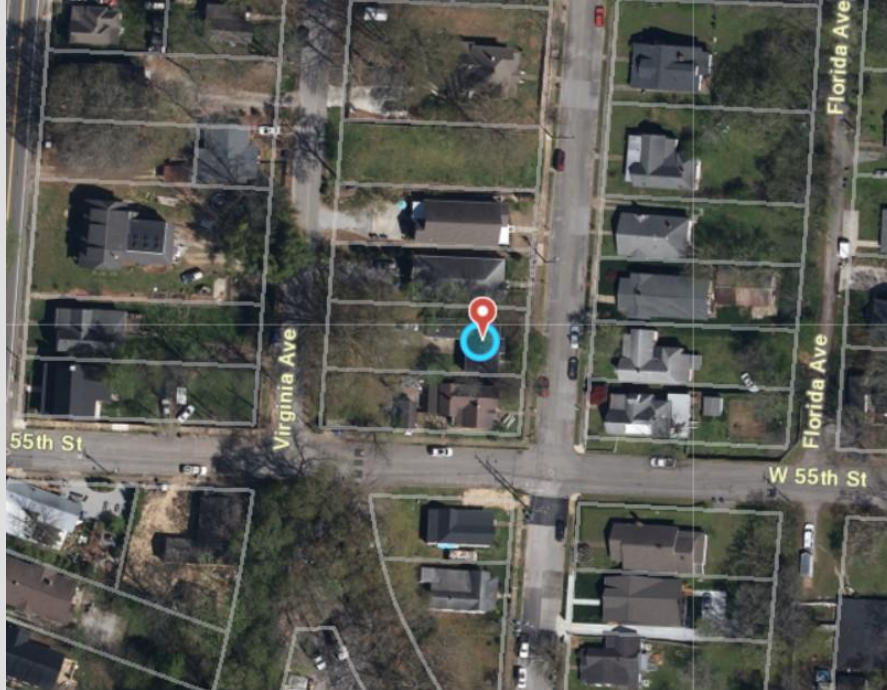
HZ-17-30: Roof, Siding

HZ-16-134: Gable Porch, Steps

# Map Location

Case # HZ-25-117

5415 Beulah Ave.





# Property Photos

Case # HZ-25-117  
5415 Beulah Ave.





# Property Photos

Case # HZ-25-117

5415 Beulah Ave.





# Neighboring Property Photos

Case # HZ-25-117  
5415 Beulah Ave.



# Neighboring Property Photos

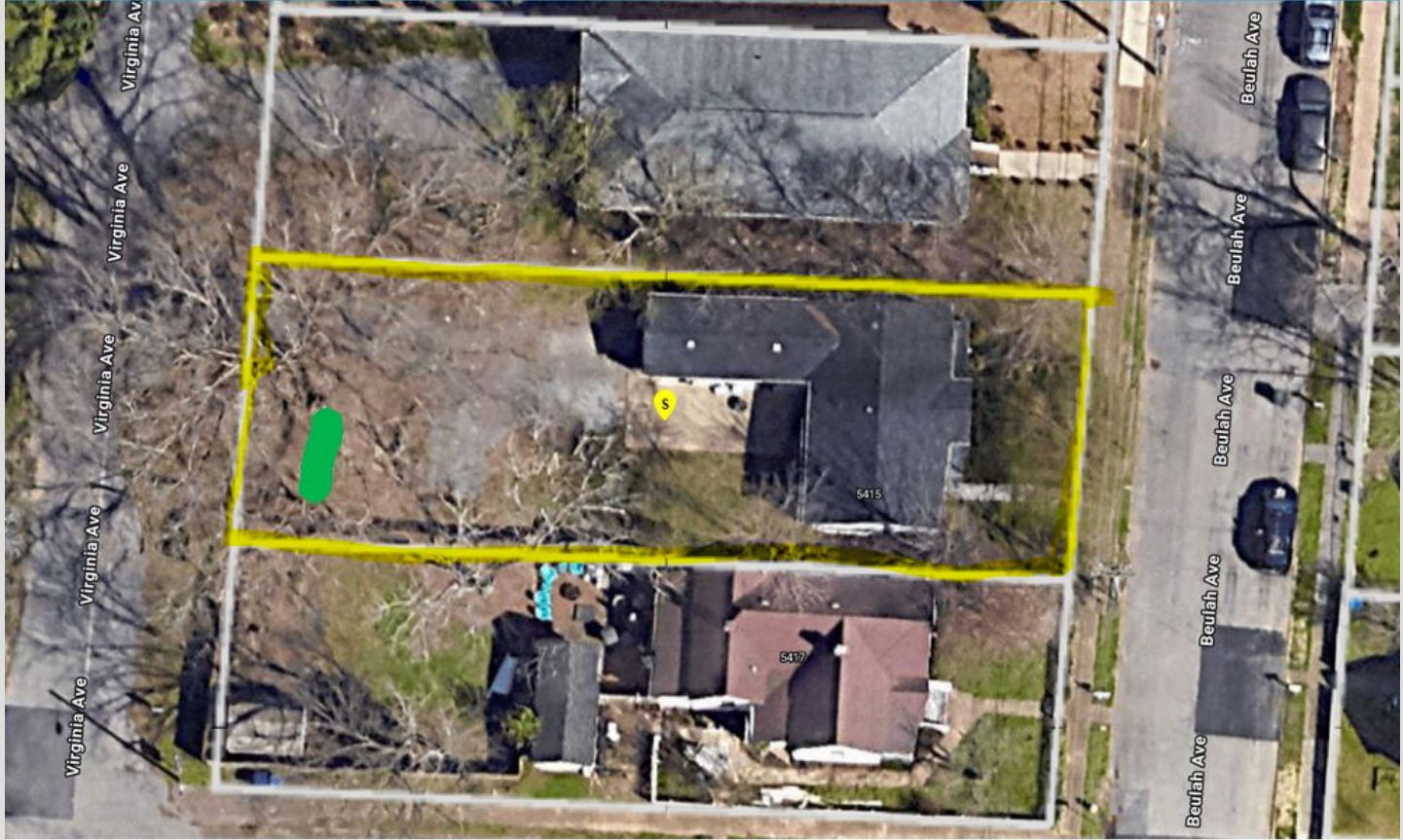
Case # HZ-25-117  
5415 Beulah Ave.





# Application Information

Case # HZ-25-117  
5415 Beulah Ave.



# Application Information

Case # HZ-25-117  
5415 Beulah Ave.

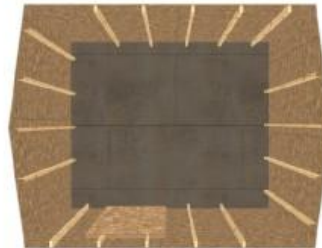


Bill Meloy  
5415 Beulah Ave  
Chattanooga TN 37409  
Q-3292271



Wall D

Wall A



Wall C

# Application Information

Case # HZ-25-117

5415 Beulah Ave.

## Wall B

### Base Details/Permit Details

#### Building Size & Style

TR-800 - 10' wide by 12' long

#### Door

4' x 6'7" Single Shed Door, Left Hinge

Placement

#### Paint Selection

Base: Ghost Writer, Trim: Delicate

White

#### Roof Selection

Charcoal 3 Tab

#### Drip Edge

White

#### Is a permit required for this job?

No, If local jurisdiction requires a permit, fees will be added before installation can take place

### Optional Details

#### Special Instructions

\*\*\*Awaiting Saint Elmo Historic District Approval \*\*\*

#### Windows

3'x3' Insulated Horizontal Sliding

Window

#### Floor and Foundation

120 Sq Ft 3/4" Treated Floor Decking

Upgrade

#### Vents

2 Ea 16"x8" Wall Vent - White

### Jobsite/Installer Details

#### Do you plan to insulate this building after

Tuff Shed installs it?

No

#### Is there a power outlet within 100 feet of installation location?

Yes

#### The building location must be level to properly install the building. How level is the install location?

Within 9"-12" of level

#### Will there be 18" of unobstructed workspace around the perimeter of all four walls?

Yes

#### Can the installers park their pickup truck & trailer within approximately 200' of your installation site?

Yes

#### Substrate Shed will be installed on?

Grass

# Application Information

Case # HZ-25-117

5415 Beulah Ave.

## STRUCTURAL NOTES:

1. BUILDING CODE: 2021 IBC & IRC

## 2. DESIGN LOADING:

### A. ROOF LOADS

1. UNIFORM ROOF (SNOW),  $p_s$ : 30 PSF
- A. SNOW EXPOSURE FACTOR,  $C_e$ : 1.0
- B. SNOW IMPORTANCE FACTOR,  $I_s$ : 1.0
- C. THERMAL FACTOR  $C_t$ : 1.2

### 2. DEAD LOAD: 10 PSF

### B. WIND LOADS

1. BASIC WIND SPEED,  $v$  ( $3\text{sec}$  GUST SPEED): 115 MPH
2. EXPOSURE: C
3. INTERNAL PRESSURE COEFFICIENT  $GCP_i$ :  $\pm 0.18$

### C. SEISMIC DESIGN

1. IMPORTANCE FACTOR: 1.0
2. SPECTRAL RESPONSE ACCELERATIONS:  $S_{DS} = 3.06$   
 $S_{D1} = 1.26$
3. SITE CLASS: D
4. SITE COEFFICIENTS:  $S_{DS} = 2.04$   
 $S_{D1} = 1.43$
5. SEISMIC DESIGN CATEGORY: E

## LUMBER:

1. ALL LUMBER SHALL BE SPRUCE-PINE-FIR STUD GRADE (UNLESS NOTED OTHERWISE).
2. REFER TO THE TRUSS DESIGN FOR DESIGN INFORMATION.

## HEADER NAILING:

HEADER TO STUD - 4-16d END NAIL DOUBLED HEADER  
- 16d @ 16" STAGGERED FACE NAIL

## NAILING:

REFER TO SHEET 2 FOR WALL AND  
ROOF SHEATHING NAILING.

## MAX WALL HEIGHT FOR EACH SHED:

PPTR - 8'-0" (80")

TR/TRD800 - 7'-8 1/4" (92 1/4")

## MAX ROOF SLOPE FOR EACH SHED:

PPTR - 5:12

TR800 - 4:12

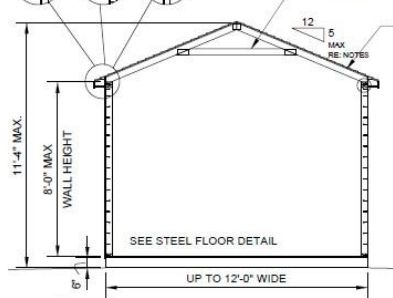
## UNINHABITED UTILITY SHED UP TO 12' WIDE x UP TO 24' LONG

PPTR, TR800

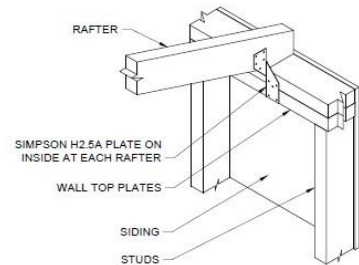
### OVERHANG OPTIONS



REFER TO TRUSS DESIGN  
COLLAR TIE REQUIRED ONLY AT  
12' WIDE SHEDS

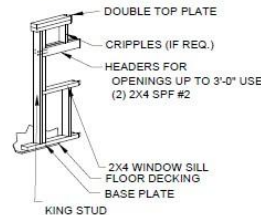


WALL FRAMING TO BE  
2x4 SPF STUD GRADE  
OR BETTER @ 16\"/>

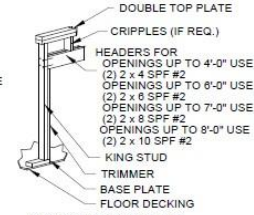


2 TRUSS ATTACHMENT DETAIL  
SCALE: N.T.S.

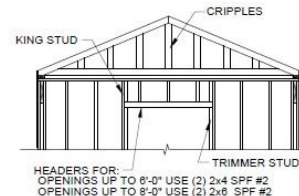
1 BUILDING SECTION  
SCALE: N.T.S.



3A DOOR HEADER DETAIL  
FOR SIDE WALLS  
SCALE: N.T.S.



3B DOOR HEADER DETAIL  
FOR SIDE WALLS  
SCALE: N.T.S.



4 HEADER DETAIL FOR  
END WALLS  
SCALE: N.T.S.



Order #:	P.O. #
Customer:	Drawn By: PK
Site Address:	Date: 3/27/24
Building Size: (WIDTH) x (LENGTH) x (HEIGHT) - SQ. FT. AND	Checked By:
	Date:
	Scale: N.T.S.

THESE DRAWINGS AND THE  
DESIGN ARE THE PROPERTY  
OF TUFF SHED, INC. THESE  
DRAWINGS ARE FOR A  
BUILDING TO BE SUPPLIED  
AND BUILT BY TUFF SHED.  
ANY OTHER USE IS  
FORBIDDEN BY BOTH TUFF  
SHED AND THE ENGINEER OF  
RECORD

TUFF SHED, INC.  
ENGINEERING DEPARTMENT  
RICHARD J. WILLS, P.E.  
RWILLS@TUFFSHED.COM  
1777 S. HARRISON STREET  
DENVER, COLORADO 80210  
(303) 753-8833



TITLE	DRAWING NO.
BUILDING SECTIONS	TN-PPTR-TR800-01
HEADER FRAMING DETAILS	REV. LEVEL 01
115 MPH, EXP. C	SHEET 1
	PAGE 1 OF 3

11 SEPT 2024



# Relevant St. Elmo Guidelines:


Case # HZ-25-117, 5415 Beulah Ave.

6.22 New Construction, Page 52

## Staff Report

### C. Of secondary buildings such as garages, carports, and other outbuildings should be:

1. Smaller in scale than the primary building; **Yes.**
2. Simple in design but reflecting the general character of the primary building. For example, use gable roof forms if the main dwelling has a gable roof, hipped roof forms if the main dwelling has a hipped roof etc.; **The shed has a gable roof like the primary dwelling.**
3. Located as traditional for the street, near an alley or at the side of the dwelling, not close to or attached to the primary building; **Yes, the outbuilding is to the rear of the dwelling.**
4. Compatible in design, shape, materials, and roof shape to the main building. **Yes.**
5. Preferably of wood siding. However, if located along rear alleys or towards the rear of the lot, secondary buildings may have exterior siding materials such as masonite (preferred), aluminum, or vinyl. Along rear alleys or rear lot lines, standard prefabricated buildings are also acceptable. **The prefabricated shed is proposed at the rear along Virginia Ave.**
6. If readily visible from the street, secondary buildings should have an emphasis on historic designs and detailing. For garages wood paneled doors are more appropriate than paneled doors of vinyl, aluminum, or steel. Wood paneled overhead roll-up doors are widely available and are appropriate for new garages. Applicant is proposing carriage style garage doors. **The prefabricated shed is proposed at the rear along Virginia Ave. The applicant was also approved for a rear privacy fence. The fence will not be visible from Virginia Ave.**



Case # HZ-25-117  
5415 Beulah Ave.

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**Applicant Presentation (10 minutes maximum)**

Case # HZ-25-117  
5415 Beulah Ave.

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**Community Comments & Comments by Other Persons**  
(3 minutes maximum per person)





Case # HZ-25-117  
5415 Beulah Ave.

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**Applicant Response (5 minute maximum)**

**Historic Zoning Commission Discussion  
Motion and Vote**





## Staff Updates:

- Guidelines Public Hearings
- Special CHZC Sessions

## Final Information:

A **Certificate of Appropriateness** will be issued for approved projects within a week of the hearing.

Next meeting date: November 20, 2025 (application deadline – October 17, 2025 at 4 p.m.)

If your case is deferred **OR** if you have conditional items to bring back before the Commission, you **MUST** contact staff and ask to be added to the agenda for that meeting. You will **NOT** automatically be added to the agenda.



# Adjourn

Motion and Vote